

**Application  
Narrative  
Cash Transmittal  
Pre-Application  
Pre-App Narrative  
Pre-App Cash Transmittal  
Development Standards**



# Development Application



## Development Application Type:

Please check the appropriate box of the Type(s) of Application(s) you are requesting

| Zoning  | Development Review                                       | Land Divisions   |
|---|--|--|
| <input checked="" type="checkbox"/> Rezoning (ZN)           | <input type="checkbox"/> Development Review (Major) (DR) | <input type="checkbox"/> Subdivision (PP)              |
| <input type="checkbox"/> In-fill Incentive (II)             | <input type="checkbox"/> Development Review (Minor) (SA) | <input type="checkbox"/> Subdivision (Minor) (MD)      |
| <input type="checkbox"/> Conditional Use Permit (UP)        | <input type="checkbox"/> Wash Modification (WM)          | <input type="checkbox"/> Land Assemblage               |
| <input type="checkbox"/> Text Amendment (TA)                | <input type="checkbox"/> Historic Property (HP)          | <b>Other</b>   |
| <input type="checkbox"/> Development Agreement (DA)         | <b>Wireless Communication Facilities</b>                 | <input type="checkbox"/> Annexation/De-annexation (AN) |
| <b>Exceptions to the Zoning Ordinance</b>                   | <input type="checkbox"/> Small Wireless Facilities (SW)  | <input type="checkbox"/> General Plan Amendment (GP)   |
| <input type="checkbox"/> Minor Amendment (MN)               | <input type="checkbox"/> Type 2 WCF DR Review Minor (SA) | <input type="checkbox"/> In-Lieu Parking (IP)          |
| <input type="checkbox"/> Hardship Exemption (HE)            | <b>Signs</b>   | <input type="checkbox"/> Abandonment (AB)              |
| <input type="checkbox"/> Variance/Accommodation/Appeal (BA) | <input type="checkbox"/> Master Sign Program (MS)        | <b>Other Application Type Not Listed</b>               |
| <input type="checkbox"/> Special Exception (SX)             | <input type="checkbox"/> Community Sign District (MS)    | <input type="checkbox"/> Other: _____                  |

Project Name: 75 on 2nd

Property's Address: 7502 E 2nd St. - 85251

Property's Current Zoning District Designation: D/OR-2 DO and S-R DO

The property owner shall designate an agent/applicant for the Development Application. This person shall be the owner's contact for the City regarding this Development Application. The agent/applicant shall be responsible for communicating all City information to the owner and the owner application team.

|   |   |
|---|---|
| <b>Owner:</b> Tom Frenkel                                       | <b>Agent/Applicant:</b> Kristjan Sigurdsson                       |
| <b>Company:</b> 7520 E 2nd Street, LLC & 75th & 2nd, LLC        | <b>Company:</b> K&I Homes, LLC                                    |
| <b>Address:</b> 7340 E Main St #200, Scottsdale AZ 85251        | <b>Address:</b> 6125 E Indian School Rd #2005                     |
| <b>Phone:</b> 480-941-2260 <b>Fax:</b> 480-423-0689             | <b>Phone:</b> 602-505-2525 <b>Fax:</b>                            |
| <b>E-mail:</b> ltom@claytoncompanies.com                        | <b>E-mail:</b> kristjans@kandihomes.com                           |
| <b>Designer:</b> Kristjan Sigurdsson                            | <b>Engineer:</b> Larry Talbot                                     |
| <b>Company:</b> K&I Homes, LLC                                  | <b>Company:</b> Hunter Engineering                                |
| <b>Address:</b> 6125 E Indian School Rd #2005, Scottsdale 85251 | <b>Address:</b> 10450 N. 74th Street, Suite 200, Scottsdale 85258 |
| <b>Phone:</b> 602-505-2525 <b>Fax:</b>                          | <b>Phone:</b> (480) 991-3985 <b>Fax:</b> (480) 991-3986           |
| <b>E-mail:</b> kristjans@kandihomes.com                         | <b>E-mail:</b> ltalbott@hunterengineeringpc.com                   |

Please indicate in the checkbox below the requested review methodology (please see the descriptions on page 2).

- This is not required for the following Development Application types: AN, AB, BA, II, GP, TA, PE and ZN. These applications<sup>1</sup> will be reviewed in a format similar to the Enhanced Application Review methodology.

☒ **Enhanced Application Review:** I hereby authorize the City of Scottsdale to review this application utilizing the Enhanced Application Review methodology.

☐ **Standard Application Review:** I hereby authorize the City of Scottsdale to review this application utilizing the Standard Application Review methodology.

Owner Signature

Agent/Applicant Signature

Official Use Only

Submittal Date:

Development Application No.:

## Planning and Development Services

7447 East Indian School Road Suite 105, Scottsdale, Arizona 85251 • www.ScottsdaleAZ.gov

Development Application

Page 1 of 3

**2-ZN-2019**  
**2/14/19**





# City of Scottsdale Cash Transmittal

# 118534

118534  
01191875  
2/14/2019 PLN-1STOP  
KHEMBY HP600G2020  
2/14/2019 2:13 PM  
\$5,845.00

**Received From :**

Kristjan Sigurdsson  
6125 E Indian School Rd #2005  
Scottsdale, AZ 85251  
(602) 505-2525

**Bill To :**

Kristjan Sigurdsson  
6125 E Indian School Rd #2005  
Scottsdale, AZ 85251  
(602) 505-2525

Reference # 690-PA-2018  
Address 7502 E 2ND ST  
Subdivision REDDELL MANOR

Marketing Name  
MCR 049-27  
APN 130-25-028B

Owner Information  
Tom Frenkel  
7340 E Main St #200  
Scottsdale, AZ 85251  
(480) 941-2260

Lot Number 10  
Metes/Bounds No  
Gross Lot Area 0  
NAOS Lot Area 0  
Net Lot Area 0  
Number of Units 1  
Density 1

Issued Date 2/14/2019  
Paid Date 2/14/2019  
Payment Type CREDIT CARD  
Cost Center  
Jurisdiction SCOTTSDALE  
Water Zone  
Water Type  
Sewer Type  
Meter Size  
QS 16-45

| Code | Description          | Additional | Qty | Amount     | Account Number  |
|------|----------------------|------------|-----|------------|-----------------|
| 3170 | REZONING APPLICATION |            | 1   | \$5,845.00 | 100-21300-44221 |

City of Scottsdale  
7447 E. Indian School Rd.  
Scottsdale, AZ 85251  
(480) 312-2500  
One Stop Shop

Date: 2/14/2019  
Office: PLN-1STOP  
Tran #: 1  
Cashier: KHEMBY  
Mach ID: HP600G2020  
Batch #: 70504

Receipt: 01191875 Date: 2/14/2019 2:13 PM  
118534

3170 REZONING APP \$5,845.00

TENDERED AMOUNTS:

CC Last 4: 6670 Visa Tendered: \$5,845.00  
Auth Code: 0

Transaction Total: \$5,845.00

Thank you for your payment.  
Have a nice day!

2-ZN-2019  
2/14/19

SIGNED BY KRISTJAN SIGURDSSON ON 2/14/2019

Total Amount

\$5,845.00

(When a credit card is used as payment I agree to pay the above total amount according to the Card Issuer Agreement.)

3" and larger water meter fees are based on cost recovery. The city will contact the owner of the construction permit if additional funds are due. Payment will be due within 30 days notification.

TO HAVE WATER METER SET - CALL 480-312-5650 AND REFER TO TRANSMITTAL # 118534



# Rezoning

## Development Application Checklist



### Minimal Submittal Requirements:

At your pre-application meeting, your project coordinator will identify which items indicated on this Development Application checklist are required to be submitted. A Development Application that does not include all items indicated on this checklist may be rejected immediately. A Development Application that is received by the City does not constitute that the application meets the minimum submittal requirements to be reviewed.

In addition to the items on this checklist, to avoid delays in the review of your application, all Plans, Graphics, Reports and other additional information that is to be submitted shall be provided in accordance with the:

- requirements specified in the Plan & Report Requirements For Development Applications Checklist;
- Design Standards & Policies Manual;
- requirements of Scottsdale Revised Code (including the Zoning Ordinance); and
- stipulations, include any additional submittal requirements identified in the stipulations, of any Development Application approved prior to the submittal of this application.

If you have any question regarding the information above, or items indicated on this application checklist, please contact your project coordinator. His/her contact information is on the page 12 of this application.

Please be advised that a Development Application received by the City that is inconsistent with information submitted with the corresponding pre-application may be rejected immediately, and may be required to submit a separate: pre-application, a new Development Application, and pay all additional fees.

Prior to application submittal, please research original zoning case history to find the original adopted ordinance(s) and exhibit(s) to confirm the zoning for the property. This will help to define your application accurately. The City's full-service Records Department can assist.

### PART I -- GENERAL REQUIREMENTS

| Req'd                               | Rec'd                               | Description of Documents Required for Complete Application. <b>No application shall be accepted without all items marked below.</b>  |
|-------------------------------------|-------------------------------------|--|
| <input checked="" type="checkbox"/> | <input checked="" type="checkbox"/> | 1. Rezoning Application Checklist (this list)  |
| <input checked="" type="checkbox"/> | <input checked="" type="checkbox"/> | 2. Zoning Application Fee \$ <u>5,845.00</u> (subject to change every July)  |
| <input checked="" type="checkbox"/> | <input checked="" type="checkbox"/> | 3. Completed Development Application (form provided)<br>Prior to application submittal, please research original zoning case history to find the original adopted ordinance(s) and exhibit(s) to confirm the zoning for the property. This will help to define your application accurately. The City's full-service Records Department can assist. |
| <input checked="" type="checkbox"/> | <input checked="" type="checkbox"/> | 4. Request to Submit Concurrent Development Applications (form provided)   |
| <input checked="" type="checkbox"/> | <input checked="" type="checkbox"/> | 5. Letter of Authorization (from property owner(s) if property owner did not sign the application form)  |

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## Rezoning Development Application Checklist

|                                     |                                     |   |
|-------------------------------------|-------------------------------------|---|
| <input checked="" type="checkbox"/> | <input checked="" type="checkbox"/> | 6. <b>Affidavit of Authorization to Act for Property Owner</b> (required if the property owner is a corporation, trust, partnership, etc. and/or the property owner(s) will be represented by an applicant that will act on behalf of the property owner)   |
| <input checked="" type="checkbox"/> | <input checked="" type="checkbox"/> | 7. <b>Appeal of Required Dedications, Exactions, or Zoning Regulations</b> (form provided)  |
| <input checked="" type="checkbox"/> | <input checked="" type="checkbox"/> | 8. <b>Commitment for Title Insurance – No older than 30 days from the submittal date</b> <ul style="list-style-type: none"> <li>8-1/2" x 11" – ① copy</li> <li>Include complete Schedule A and Schedule B. (requirements form provided)</li> </ul>  |
| <input checked="" type="checkbox"/> | <input checked="" type="checkbox"/> | 9. <b>Legal Description:</b> (if not provided in Commitment for Title Insurance) <ul style="list-style-type: none"> <li>8-1/2" x 11" – ② copies</li> </ul>  |
| <input checked="" type="checkbox"/> | <input checked="" type="checkbox"/> | 10. <b>Results of ALTA Survey (24" x 36") FOLDED</b> <ul style="list-style-type: none"> <li>24" x 36" – ① copies, <u>folded</u> (The ALTA Survey shall not be more than 30 days old)</li> <li>Digital – ① copy (CD/DVD, PDF Format)</li> </ul>  |
| <input checked="" type="checkbox"/> | <input checked="" type="checkbox"/> | 11. <b>Request for Site Visits and/or Inspections</b> (form provided)   |
|                                     |                                     | 12. <b>Addressing Requirements</b> (form provided)  |
| <input checked="" type="checkbox"/> | <input checked="" type="checkbox"/> | 13. <b>Draft Development Agreement</b> <ul style="list-style-type: none"> <li>8-1/2" x 11" – ③ copies</li> </ul> <p>Must adhere to the Maricopa County Recorder requirements</p>  |
|                                     |                                     | 14. <b>Proposition 207 waiver or refusal (Delay submittal until after the Planning Commission Hearing )</b><br>(sample agreement information provided)  |
| <input checked="" type="checkbox"/> | <input checked="" type="checkbox"/> | 15. <b>Public Participation:</b> (see Attachment A) <ul style="list-style-type: none"> <li>If substantial modifications are made to an application, additional notification may be required by the Zoning Administrator, or designee. When required, provide one copy of the Citizen Review Report addendum.</li> </ul>   |
|                                     |                                     | 16. <b>Request for Neighborhood Group/Homeowners Association</b> (form provided)  |
| <input checked="" type="checkbox"/> | <input checked="" type="checkbox"/> | 17. <b>Site Posting Requirements:</b> (form provided (white and red signs) <ul style="list-style-type: none"> <li>Affidavit of Posting for Project Under Consideration</li> <li>Affidavit of Posting for Planning Commission Public Hearing (<b>Delayed submittal</b>). Affidavit must be turned in 20 days prior to Planning Commission hearing.</li> <li>Affidavit of Posting for City Council Public Hearing (<b>Delayed submittal</b>). Affidavit must be turned in 20 days prior to City Council hearing.</li> </ul> |
| <input checked="" type="checkbox"/> | <input checked="" type="checkbox"/> | 18. <b>School District Notification</b> – (form provided)<br>Required for all applications that include residential uses.   |
| <input checked="" type="checkbox"/> | <input checked="" type="checkbox"/> | 19. <b>Photo Exhibit of Existing Conditions: Printed digital photos on 8-1/2"x11" Paper</b> <ul style="list-style-type: none"> <li>8-1/2" x 11" - ① copy of the set of prints</li> <li>See attached Existing Conditions Photo Exhibit graphic showing required photograph locations and numbers.</li> </ul>   |

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## Rezoning Development Application Checklist

|  |                                     |   |   |
|--|-------------------------------------|---|---|
| <input checked="" type="checkbox"/>                            | <input checked="" type="checkbox"/> | N/A   | <b>20. Archaeological Resources</b> (information sheets provided) <ul style="list-style-type: none"> <li><input type="checkbox"/> Archaeology Survey and Report - (3) copies</li> <li><input type="checkbox"/> Archaeology 'Records Check' Report Only - (3) copies</li> <li><input type="checkbox"/> Copies of Previous Archeological Research - (1) copy</li> </ul> |
| <input checked="" type="checkbox"/>                            | <input checked="" type="checkbox"/> | N/A   | <b>21. Completed Airport Vicinity Development Checklist</b> – Your property is located within the vicinity of the Scottsdale Municipal Airport (within 20,000 foot radius of the runway; information packet provided)   |
| <b>PART II -- REQUIRED NARRATIVE, PLANS &amp; RELATED DATA</b> |                                     |   |   |
| Req'd  | Rec'd                               | Description of Documents Required for Complete Application. <b>No application shall be accepted without all items marked below.</b>   |   |
|  |                                     | <b>22. Plan &amp; Report Requirements For Development Applications Checklist</b> (form provided)  |   |
| <input checked="" type="checkbox"/>                            | <input type="checkbox"/>            | <b>23. Development Plan</b>   |   |
| Req'd  | Rec'd                               |   |   |
| <input checked="" type="checkbox"/>                            | <input checked="" type="checkbox"/> | <b>a. Application Narrative</b> <ul style="list-style-type: none"> <li>• 8 ½" x 11" – (4) copies</li> <li><input checked="" type="checkbox"/> The application narrative shall specify how the proposal separately addresses each of the following:             <ul style="list-style-type: none"> <li>• goals and policies/approaches of the General Plan</li> <li>• goals and polices of the applicable Character Area Plan</li> <li>• architectural character, including environmental response, design principles, site development character, and landscape character</li> </ul> </li> <li><input checked="" type="checkbox"/> Please review the applicable zoning district and/or overlay provisions for any findings, justifications, and/or explanations that are required to be met. Each finding, justification, and/or explanation shall be separately identified with a corresponding response in the application narrative. (PRD, PCD, PBD, PUD, etc)</li> <li><input type="checkbox"/> In addition, the following applicable information shall be incorporated into the application narrative:             <ul style="list-style-type: none"> <li><input type="checkbox"/> separate justification(s) for each requested modifications to regulations and standards,</li> <li><input type="checkbox"/> bonus provisions and justifications,</li> <li><input type="checkbox"/> methodology to address the City's Sensitive Design Principles, and applicable design guidelines pertaining to: architectural character, environmental response, site development character, and landscape character, and/or</li> <li><input type="checkbox"/> Historic Property – existing or potential historic property.               <ul style="list-style-type: none"> <li>○ (Describe how the proposal preserves the historic character or compliance with property's existing Historic Preservation Plan)</li> </ul> </li> </ul> </li> </ul> |   |

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## Rezoning Development Application Checklist

|  |  |
|--|--|
| <input checked="" type="checkbox"/><br><div style="font-size: 2em; font-weight: bold;">N/A</div> | <p><b>b. Legislative draft of the proposed development standards, or amended development standards (form provided)</b></p> <ul style="list-style-type: none"> <li>8 ½" x 11" – (3) copies</li> </ul> <p>(Must adhere to the Maricopa County Recorder requirements)</p>   |
| <input checked="" type="checkbox"/><br><div style="font-size: 2em; font-weight: bold;">N/A</div> | <p><b>c. Legislative draft of the list of Land Uses, if proposed (PBD, SC)</b></p> <ul style="list-style-type: none"> <li>8 ½" x 11" – (2) copies</li> </ul> <p>(Must adhere to the Maricopa County Recorder requirements)</p>   |
| <input checked="" type="checkbox"/><br><input checked="" type="checkbox"/>                       | <p><b>d. A dimensioned plan indicating the proposed boundaries of the application</b></p> <ul style="list-style-type: none"> <li>11" x 17" – (1) copy, <u>folded</u> (quality suitable for reproduction)</li> <li>8 ½" x 11" – (1) copy (quality suitable for reproduction)</li> <li>Digital - (1) copy (CD/DVD – PDF Format)</li> </ul>   |
| <input checked="" type="checkbox"/><br><input checked="" type="checkbox"/>                       | <p><b>e. Context Aerial with the proposed site improvements superimposed</b></p> <ul style="list-style-type: none"> <li>24" x 36" – (2) color copies, <u>folded</u></li> <li>11" x 17" – (1) color copy, <u>folded</u></li> <li>8 ½" x 11" – (1) color copy (quality suitable for reproduction)</li> </ul> <p>Aerial shall not be more than 1 year old and shall include and overlay of the site plan showing lot lines, tracts, easements, street locations/names and surrounding zoning for a radius from the site of:</p> <p><input checked="" type="checkbox"/> 750 foot radius from site</p> <p>_____ 1/4 mile radius from site</p> <p>_____ Other: _____</p> |
| <input checked="" type="checkbox"/><br><input checked="" type="checkbox"/>                       | <p><b>f. Site Plan</b></p> <ul style="list-style-type: none"> <li>24" x 36" – (16) copies, <u>folded</u></li> <li>11" x 17" – (1) copy, <u>folded</u> (quality suitable for reproduction)</li> <li>8 ½" x 11" – (1) copy (quality suitable for reproduction)</li> <li>Digital - (1) copy (CD/DVD – PDF Format)</li> </ul>  |
| <input checked="" type="checkbox"/><br><div style="font-size: 2em; font-weight: bold;">N/A</div> | <p><b>g. Subdivision Plan</b></p> <ul style="list-style-type: none"> <li>24" x 36" – (16) copies, <u>folded</u></li> <li>11" x 17" – (1) copy, <u>folded</u> (quality suitable for reproduction)</li> <li>8 ½" x 11" – (1) copy (quality suitable for reproduction)</li> <li>Digital - (1) copy (CD/DVD – PDF Format)</li> </ul>   |

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## Rezoning Development Application Checklist

|                                     |                                     |   |
|-------------------------------------|-------------------------------------|---|
| <input checked="" type="checkbox"/> | <input checked="" type="checkbox"/> | <p><b>h. Open Space Plan (Site Plan Worksheet)</b> (example provided)</p> <ul style="list-style-type: none"> <li>• 24" x 36" – ① copies, <u>folded</u></li> <li>• 11" x 17" – ① copy, <u>folded</u> (quality suitable for reproduction)</li> <li>• 8 ½" x 11" – ① copy (quality suitable for reproduction)</li> <li>• Digital - ① copy (CD/DVD – PDF Format)</li> </ul>   |
| <input checked="" type="checkbox"/> | <input checked="" type="checkbox"/> | <p><b>i. Site Cross Sections</b></p> <ul style="list-style-type: none"> <li>• 24" x 36" – ① copy, <u>folded</u></li> <li>• 11" x 17" – ① copy, <u>folded</u></li> </ul>   |
| <input checked="" type="checkbox"/> | <input checked="" type="checkbox"/> | <p><b>j. Natural Area Open Space Plan</b> (ESL Areas)</p> <ul style="list-style-type: none"> <li>• 24" x 36" – ② copies, <u>folded</u></li> <li>• 11" x 17" – ① copy, <u>folded</u> (quality suitable for reproduction)</li> </ul>  |
| <input checked="" type="checkbox"/> | <input checked="" type="checkbox"/> | <p><b>k. Topography and slope analysis plan</b> (ESL Areas)</p> <ul style="list-style-type: none"> <li>• 24" x 36" – ① copy, <u>folded</u></li> </ul>   |
| <input checked="" type="checkbox"/> | <input checked="" type="checkbox"/> | <p><b>l. Phasing Plan</b></p> <ul style="list-style-type: none"> <li>• 24" x 36" – ③ copies, <u>folded</u></li> <li>• 11" x 17" – ① copy, <u>folded</u> (quality suitable for reproduction)</li> <li>• 8 ½" x 11" – ① copy (quality suitable for reproduction)</li> <li>• Digital - ① copy (CD/DVD – PDF Format)</li> </ul>   |
| <input checked="" type="checkbox"/> | <input checked="" type="checkbox"/> | <p><b>m. Landscape Plan</b> <i>OPTIONAL</i></p> <ul style="list-style-type: none"> <li>• All plans shall be <u>black and white line drawings</u><br/>(a grayscale copy of the color Landscape Plan will not be accept.)</li> <li>• 24" x 36" – ② copies, <u>folded</u></li> <li>• 11" x 17" – ① copy, <u>folded</u> (quality suitable for reproduction)</li> <li>• 8 ½" x 11" – ① copy (quality suitable for reproduction)</li> <li>• Digital - ① copy (CD/DVD – PDF Format)</li> </ul> |
| <input checked="" type="checkbox"/> | <input checked="" type="checkbox"/> | <p><b>n. Hardscape Plan</b></p> <ul style="list-style-type: none"> <li>• All plans shall be <u>black and white line drawings</u><br/>(a grayscale copy of the color Landscape Plan will not be accept.)</li> <li>• 24" x 36" – ② copies, <u>folded</u> of <u>black and white line drawings</u></li> <li>• 11" x 17" – ① copy, <u>folded</u></li> </ul>  |

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## Rezoning Development Application Checklist

|                                     |                                     |   |
|-------------------------------------|-------------------------------------|---|
| <input checked="" type="checkbox"/> | <input checked="" type="checkbox"/> | <p><b>o. Transitions Plan</b></p> <ul style="list-style-type: none"> <li>24" x 36" – ② copies, <u>folded</u></li> <li>11" x 17" – ① copy (quality suitable for reproduction)</li> <li>8 ½" x 11" – ① copy (quality suitable for reproduction)</li> <li>Digital – ① copy (CD/DVD – PDF Format)</li> </ul>  |
| <input checked="" type="checkbox"/> | <input checked="" type="checkbox"/> | <p><b>p. Parking Plan</b></p> <ul style="list-style-type: none"> <li>24" x 36" – ① copy, <u>folded</u></li> <li>11" x 17" – ① copy, <u>folded</u> (quality suitable for reproduction)</li> <li>8 ½" x 11" – ① color copy (quality suitable for reproduction)</li> <li>Digital – ① copy (CD/DVD – PDF Format)</li> </ul>   |
| <input checked="" type="checkbox"/> | <input checked="" type="checkbox"/> | <p><b>q. Parking Master Plan</b></p> <p>See the City's <u>Zoning Ordinance, Article IX</u> for specific submittal and content requirements for Parking Master Plan. The report shall be bound (3 ring, GBC or coil wire, no staples) with card stock front and back covers, and must include all required exhibits.</p> <ul style="list-style-type: none"> <li>8-1/2" x 11" - ② copies</li> </ul>   |
| <input checked="" type="checkbox"/> | <input checked="" type="checkbox"/> | <p><b>r. Pedestrian and Vehicular Circulation Plan</b></p> <ul style="list-style-type: none"> <li>24" x 36" – ③ copies, <u>folded</u></li> <li>11" x 17" – ① copy, <u>folded</u> (quality suitable for reproduction)</li> <li>8 ½" x 11" – ① color copy (quality suitable for reproduction)</li> <li>Digital – ① copy (CD/DVD – PDF Format)</li> </ul>  |
| <input checked="" type="checkbox"/> | <input checked="" type="checkbox"/> | <p><b>s. Elevations</b></p> <ul style="list-style-type: none"> <li>24" x 36" – ② copies <u>folded</u> black and white line drawing copies (a grayscale copy of the color elevations will not be accepted.)</li> <li>24" x 36" – ② color copies, <u>folded</u></li> <li>11" x 17" – ① color copy, <u>folded</u> (quality suitable for reproduction)</li> <li>11" x 17" – ① copy, <u>folded</u> black and white line drawing (quality suitable for reproduction)</li> <li>8 ½" x 11" – ① color copy, (quality suitable for reproduction)</li> <li>8 ½" x 11" – ① copy black and white line drawing (quality suitable for reproduction)</li> <li>Digital – ① copy (CD/DVD – PDF Format)</li> </ul> |
| <input checked="" type="checkbox"/> | <input checked="" type="checkbox"/> | <p><b>t. Elevations Worksheet(s)</b></p> <p>Required for all Development applications to rezone to Planned Unit Development (PUD) and Downtown when elevations are required to be submitted.</p> <ul style="list-style-type: none"> <li>24" x 36" – ② copies, <u>folded</u></li> <li>Digital – ① copy (CD/DVD – PDF Format)</li> </ul>  |
| <input checked="" type="checkbox"/> | <input checked="" type="checkbox"/> | <p><b>u. Perspectives</b></p> <ul style="list-style-type: none"> <li>11" x 17" – ① color copy, <u>folded</u> (quality suitable for reproduction)</li> <li>8 ½" x 11" – ① color copy (quality suitable for reproduction)</li> </ul>  |

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## Rezoning Development Application Checklist

|                                     |                                     |   |
|-------------------------------------|-------------------------------------|---|
| <input checked="" type="checkbox"/> | <input checked="" type="checkbox"/> | <b>v. Floor Plans</b> <ul style="list-style-type: none"> <li>• 24" x 36" – ① copy, <u>folded</u></li> <li>• 11" x 17" – ① copy, <u>folded</u> (quality suitable for reproduction)</li> </ul>  |
| <input checked="" type="checkbox"/> | <input checked="" type="checkbox"/> | <b>w. Floor Plan Worksheet(s)</b><br>(Required for restaurants, bars or development containing there-of, and multi-family developments): <ul style="list-style-type: none"> <li>• 24" x 36" – ① copy, <u>folded</u></li> <li>• 11" x 17" – ① copy, <u>folded</u> (quality suitable for reproduction)</li> <li>• Digital – ① copy (CD/DVD – PDF Format)</li> </ul>   |
| <input type="checkbox"/>            | <input checked="" type="checkbox"/> | <b>x. Roof Plan Worksheet(s)</b> <ul style="list-style-type: none"> <li>• 24" x 36" – ① copy, <u>folded</u></li> </ul>  |
| <input type="checkbox"/>            | <input type="checkbox"/>            | <b>y. Electronic Massing Model:</b> <ul style="list-style-type: none"> <li>• 11" x 17" – ① color copy, <u>folded</u></li> <li>• 8 ½" x 11" – ① color copy (quality suitable for reproduction)</li> </ul> Scaled model indicating building masses on the site plan and the mass of any building within:<br>_____ 750 foot radius from site<br>_____ Other: _____<br>(The electronic model shall be a computer generated Sketch-up® model or other electronic modeling media acceptable to the Current Planning Services department.) |
| <input type="checkbox"/>            | <input type="checkbox"/>            | <b>z. Solar Analysis</b><br>The solar analysis shall be completed for twenty first day of March, June, September, and December at 6:00 a.m., 9:00 a.m., 12:00 p.m., 3:00 p.m. and 6:00 p.m.<br>Required for all Development applications to rezone to Planned Unit Development (PUD). <ul style="list-style-type: none"> <li>• 11" x 17" – ① copy, <u>folded</u> (quality suitable for reproduction)</li> </ul>   |
| <input type="checkbox"/>            | <input type="checkbox"/>            | <b>aa. Exterior Lighting Site Plan</b> <ul style="list-style-type: none"> <li>• 24" x 36" – ① copy, <u>folded</u></li> <li>• 11" x 17" – ① copy, <u>folded</u> (quality suitable for reproduction)</li> </ul>   |
| <input type="checkbox"/>            | <input type="checkbox"/>            | <b>bb. Manufacturer Cut Sheets of All Proposed Lighting</b> <ul style="list-style-type: none"> <li>• 24" x 36" – ① copy, <u>folded</u></li> <li>• 11" x 17" – ① copy, <u>folded</u> (quality suitable for reproduction)</li> </ul>  |
| <input checked="" type="checkbox"/> | <input type="checkbox"/>            | <b>cc. Cultural Improvement Program Plan</b><br>_____ Conceptual design <ul style="list-style-type: none"> <li>• 11" x 17" – ① copy, <u>folded</u> (quality suitable for reproduction)</li> <li>• 8 ½" x 11" – ① color copy (quality suitable for reproduction)</li> </ul> _____ Narrative explanation of the methodology to comply with the requirement/contribution.  |

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## Rezoning Development Application Checklist

|                                     |                                     |  |  |   |
|-------------------------------------|-------------------------------------|--|--|---|
| <input checked="" type="checkbox"/> | <input checked="" type="checkbox"/> | <div style="text-align: center; font-size: 1.5em; margin-bottom: 10px;">N/A</div> <div style="text-align: center; font-size: 2em;">↓</div> |  | <b>dd. Sensitive Design Concept Plan and Proposed Design Guidelines</b><br>(Architectural, landscape, hardscape, exterior lighting, community features, common structures, etc.) <ul style="list-style-type: none"> <li>11" x 17" – ① copy, <u>folded</u> (quality suitable for reproduction)</li> <li>8 ½" x 11" – ① color copy (quality suitable for reproduction)</li> </ul>   |
| <input type="checkbox"/>            | <input type="checkbox"/>            |  |  | <b>ee. Master Thematic Architectural Character Plan</b> <ul style="list-style-type: none"> <li>11" x 17" – ① copy, <u>folded</u> (quality suitable for reproduction)</li> <li>8 ½" x 11" – ① color copy (quality suitable for reproduction)</li> </ul>  |
| <input type="checkbox"/>            | <input type="checkbox"/>            |  |  | <b>ff. Conceptual Signage Plan</b> <ul style="list-style-type: none"> <li>11" x 17" – ① copy, <u>folded</u> (quality suitable for reproduction)</li> <li>8 ½" x 11" – ① color copy (quality suitable for reproduction)</li> </ul>   |
| <input type="checkbox"/>            | <input type="checkbox"/>            |  |  | <b>gg. Other:</b> <hr style="border: 0; border-top: 1px solid black; margin: 5px 0;"/> <div style="margin-left: 20px;"> <input type="checkbox"/> 24" x 36" – _____ copy(ies), <u>folded</u><br/> <input type="checkbox"/> 11" x 17" – _____ copy(ies), <u>folded</u> (quality suitable for reproduction)<br/> <input type="checkbox"/> 8 ½" x 11" – _____ copy(ies) (quality suitable for reproduction)<br/> <input type="checkbox"/> Digital – ① copy (CD/DVD – PDF Format)           </div> |

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## Rezoning Development Application Checklist

|                                     |                                     |  |
|-------------------------------------|-------------------------------------|--|
| <input type="checkbox"/>            | <input type="checkbox"/>            | <p><b>24. Development Plan Booklets</b></p> <ul style="list-style-type: none"> <li>• 11" x 17" – ③ copies (quality suitable for reproduction)</li> <li>• 8 ½" x 11" – ① copy (quality suitable for reproduction)</li> <li>• Digital – ① copy (CD/DVD – PDF Format)</li> <li>• 8 ½" x 11" – ③ copies on archival (acid free) paper: this is a <b>delayed submittal</b> that is to be made after the Planning Commission recommendation.</li> </ul> <p>The Development Plan Booklets shall include the following:</p> <ul style="list-style-type: none"> <li><input checked="" type="checkbox"/> Application Narrative</li> <li><input type="checkbox"/> Legislative draft of the proposed development standards, or amended development standards</li> <li><input type="checkbox"/> Legislative draft of the proposed List of Land Uses</li> <li><input checked="" type="checkbox"/> A dimensioned plan indicating the proposed boundaries of the application</li> <li><input type="checkbox"/> Context Aerial with the proposed Site Plan superimposed</li> <li><input type="checkbox"/> Site Plan</li> <li><input type="checkbox"/> Subdivision Plan</li> <li><input type="checkbox"/> Open Space Plan</li> <li><input type="checkbox"/> Phasing Plan</li> <li><input type="checkbox"/> Landscape Plan</li> <li><input type="checkbox"/> Hardscape Plan</li> <li><input type="checkbox"/> Transitions Plan</li> <li><input type="checkbox"/> Parking Plan</li> <li><input type="checkbox"/> Pedestrian and Vehicular Circulation Plan</li> <li><input type="checkbox"/> Conceptual Elevations</li> <li><input type="checkbox"/> Conceptual Perspectives</li> <li><input type="checkbox"/> Electronic Massing Model</li> <li><input type="checkbox"/> Solar Analysis</li> <li><input type="checkbox"/> Exterior Lighting Plan</li> <li><input type="checkbox"/> Manufacturer Cut Sheets of All Proposed Lighting</li> <li><input type="checkbox"/> Cultural Amenities Plan</li> <li><input type="checkbox"/> Special Impacts Analysis (Lighting Program, Dust Control, Noise Analysis and Control)</li> <li><input type="checkbox"/> Sensitive Design Concept Plan and Proposed Design Guidelines (architectural, landscape, hardscape, exterior lighting, community features, common structures, etc.)</li> <li><input type="checkbox"/> Master Thematic Architectural Character Plan</li> <li><input type="checkbox"/> Conceptual Signage Plan</li> <li><input type="checkbox"/> Other:</li> </ul> <p>Color and black and white line drawings shall be provided in accordance with the individual plan requirements above.</p> |
| <input checked="" type="checkbox"/> | <input checked="" type="checkbox"/> | <p><b>25. Proposed Public Benefit Narrative, Plan, and Total Construction Cost Estimate for proposed development standard bonus(es)</b></p> <p>(PBD, Infill Incentive, or PCP rezoning applications that include the use bonus provisions. A professional consultant shall provide the Total Construction Cost Estimate)</p>   |

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## Rezoning Development Application Checklist

|                                     |                                     |  |
|-------------------------------------|-------------------------------------|--|
| <input checked="" type="checkbox"/> | <input checked="" type="checkbox"/> | <p><b>26. Preliminary Drainage Report</b></p> <p>See Chapter 4 of the City's <u>Design Standards &amp; Policies Manual</u> for specific submittal and content requirements for drainage reports. The report shall be bound (3 ring, GBC or coil wire, no staples) with card stock front and back covers, and must include all required exhibits, full color aerial, and topography maps. Full size plans/maps shall be folded and contained in pockets.</p> <ul style="list-style-type: none"> <li>Hardcopy - 8-1/2" x 11" - ① copy of the Preliminary Drainage Report including full size plans/maps in pockets</li> <li>Digital - ① copy of the Drainage Report. Any advanced hydraulic or hydrologic models shall be included (see handout submittal instructions)</li> </ul> |
| <input checked="" type="checkbox"/> | <input checked="" type="checkbox"/> | <p><b>27. Preliminary Grading and Drainage Plan</b></p> <p>See Chapter 4 of the City's <u>Design Standards &amp; Policies Manual</u> for specific submittal and content requirements for the plan. The preliminary grading and drainage plan may be included as part of the preliminary drainage report.</p> <ul style="list-style-type: none"> <li>Hardcopy - 24" x 36" - ① copy of the Preliminary Grading and Drainage plan.</li> <li>Digital - ① copy of the Preliminary Grading and Drainage Plan (see handout submittal instructions)</li> </ul>   |
| <input checked="" type="checkbox"/> | <input checked="" type="checkbox"/> | <p><b>28. Master Drainage Plan</b></p> <p>See the City's <u>Design Standards &amp; Policies Manual</u> for specific submittal and content requirements for Master Drainage Report. The report shall be bound (3 ring, GBC or coil wire, no staples) with card stock front and back covers, and must include all required exhibits, full color aerial, topography maps and preliminary grading and drainage plans. Full size plans/maps shall be folded and contained in pockets.</p> <ul style="list-style-type: none"> <li>8-1/2" x 11" - ① copy of the Drainage Report including full size plans/maps in pockets</li> <li>Digital - ① copy (see handout submittal instructions)</li> </ul>   |
| <input checked="" type="checkbox"/> | <input checked="" type="checkbox"/> | <p><b>29. Preliminary Basis of Design Report for Water</b></p> <p>See the City's <u>Design Standards &amp; Policies Manual</u> for specific submittal and content requirements for Basis of Design Report for Water. The report must include all required exhibits and plans.</p> <p style="background-color: yellow;">Submit by one of the options below:</p> <ul style="list-style-type: none"> <li>Email (see handout submittal instructions)</li> <li>CD/DVD</li> <li>8-1/2" x 11" - ④ copies – the report shall be bound, all full size plans/maps provided in pockets.</li> </ul>  |
| <input checked="" type="checkbox"/> | <input checked="" type="checkbox"/> | <p><b>30. Preliminary Basis of Design Report for Wastewater</b></p> <p>See the City's <u>Design Standards &amp; Policies Manual</u> for specific submittal and content requirements for Design Report for Wastewater. The report shall be bound and must include all required exhibits and plans.</p> <p style="background-color: yellow;">Submit by one of the options below:</p> <ul style="list-style-type: none"> <li>Email (see handout submittal instructions)</li> <li>CD/DVD</li> <li>8-1/2" x 11" - ④ copies – the report shall be bound, all full size plans/maps provided in pockets.</li> </ul>  |

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# Rezoning Development Application Checklist

|                                     |                                     |   |
|-------------------------------------|-------------------------------------|---|
| <input checked="" type="checkbox"/> | <input checked="" type="checkbox"/> | <b>31. Master Plan for Water</b><br>Contact the Water Resources Department at 480-312-5685 to discuss offsite and onsite analysis and report content. The report shall be bound and must include all required exhibits and plans.<br><u>Submit by one of the options below:</u> <ul style="list-style-type: none"> <li>Email (see handout submittal instructions)</li> <li>CD/DVD</li> <li>8-1/2" x 11" - ④ copies – the report shall be bound, all full size plans/maps provided in pockets.</li> </ul>  |
| <input checked="" type="checkbox"/> | <input checked="" type="checkbox"/> | <b>32. Master Plan and Design Report for Wastewater</b><br>Contact the Water Resources Department at 480-312-5685 to discuss offsite and onsite analysis and report content. The report shall be bound and must include all required exhibits and plans.<br><u>Submit by one of the options below:</u> <ul style="list-style-type: none"> <li>Email (see handout submittal instructions)</li> <li>CD/DVD</li> <li>8-1/2" x 11" - ④ copies – the report shall be bound, all full size plans/maps provided in pockets.</li> </ul>   |
| <input checked="" type="checkbox"/> | <input checked="" type="checkbox"/> | <b>33. Transportation Impact &amp; Mitigation Analysis (TIMA)</b><br>Please review the City's Design Standards & Policies Manual and Transportation Impact and Mitigation Analysis Requirements provided with the application material for the specific requirements. The report shall be bound (3 ring, GBC or coil wire, no staples) with card stock front and back covers, and must include all required exhibits, and plans.<br><input checked="" type="checkbox"/> Category 1 Study<br><input type="checkbox"/> Category 2 Study<br><input type="checkbox"/> Category 3 Study <ul style="list-style-type: none"> <li>Email (see handout submittal instructions)</li> <li>8-1/2" x 11" - ③ copies of the Transportation Impact &amp; Mitigation Analysis Water including full size plans/maps in pockets</li> </ul> |
| <input checked="" type="checkbox"/> | <input checked="" type="checkbox"/> | <b>34. Native Plant Submittal Requirements: (form provided)</b> <ul style="list-style-type: none"> <li>24" x 36" – ① copy, <u>folded</u>.<br/>             (Aerial with site plan overlay to show spatial relationships of existing protected plants and significant concentrations on vegetation to proposed development)</li> <li>See Sec. 7.504 of the Zoning Ordinance for specific submittal requirements.</li> </ul>  |
| <input checked="" type="checkbox"/> | <input checked="" type="checkbox"/> | <b>35. Environmental Features Map</b> <ul style="list-style-type: none"> <li>24" x 36" – ① copy, <u>folded</u></li> <li>11" x 17" – ① copy, <u>folded</u> (quality suitable for reproduction)</li> </ul>  |
| <input type="checkbox"/>            | <input type="checkbox"/>            | <b>36. Other:</b><br><hr/> <hr/> <hr/>  |

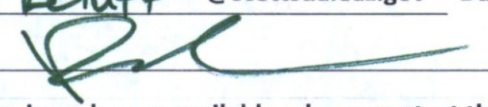
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## Rezoning Development Application Checklist

### PART III – SUBMITTAL OF THE DEVELOPMENT APPLICATION

| Req'd                               | Rec'd                    | Description of Documents Required for Complete Application. <b>No application shall be accepted without all items marked below.</b>  |
|-------------------------------------|--------------------------|--|
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | 37. An appointment must be scheduled to submit this application. To schedule your submittal meeting please call <b>480-312-7767</b> . Request a submittal meeting with a Planning Specialist and provide your case pre-app number; <u>690-PA-2018</u> .  |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | 38. Submit all items indicated on this checklist pursuant to the Submittal Instructions provided.  |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | 39. Submit all additional items that are required pursuant to the stipulations of any other Development Application that this application is reliant upon  |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | 40. <b>Delayed Submittal.</b> Additional copies of all or certain required submittal indicated items above will be require at the time your Project Coordinator is preparing the public hearing report(s). Your Project Coordinator will request these items at that time, and they are to be submitted by the date indicated in the request.  |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <p>41. If you have any question regarding this application checklist, please contact your Project Coordinator.</p> <p>Coordinator Name (print): <u>BRYAN CLUFF</u> Phone Number: <u>480-312-2258</u></p> <p>Coordinator email: <u>bcluff</u> @scottsdaleaz.gov Date: <u>9/12/18</u></p> <p>Coordinator Signature: </p> <p>If the Project Coordinator is no-longer available, please contact the Current Planning Director at the phone number in the footer of this page if you have any question regarding this application checklist.</p> <p>This application needs a: <input checked="" type="checkbox"/> New Project Number, or<br/> <input type="checkbox"/> A New Phase to an old Project Number: _____</p> <p><b>Required Notice</b></p> <p>Pursuant to A.R.S. §9-836, an applicant/agent may request a clarification from the City regarding an interpretation or application of a statute, ordinance, code or authorized substantive policy, or policy statement. Requests to clarify an interpretation or application of a statute, ordinance, code, policy statement administered by the Planning and Development Services, including a request for an interpretation of the Zoning Ordinance, shall be submitted in writing to the One Stop Shop to the attention of the Planning and Development Services Director. All such requests must be submitted in accordance with the A.R.S. §9-839 and the City's applicable administrative policies available at the Planning and Development Services' One Stop Shop, or from the city's website:<br/> <a href="http://www.scottsdaleaz.gov/planning-development/forms">http://www.scottsdaleaz.gov/planning-development/forms</a></p> <p>Planning and Development Services<br/> One Stop Shop<br/> Planning and Development Services Director<br/> 7447 E. Indian School Rd, Suite 105<br/> Scottsdale, AZ 85251<br/> Phone: (480) 312-7000</p> |

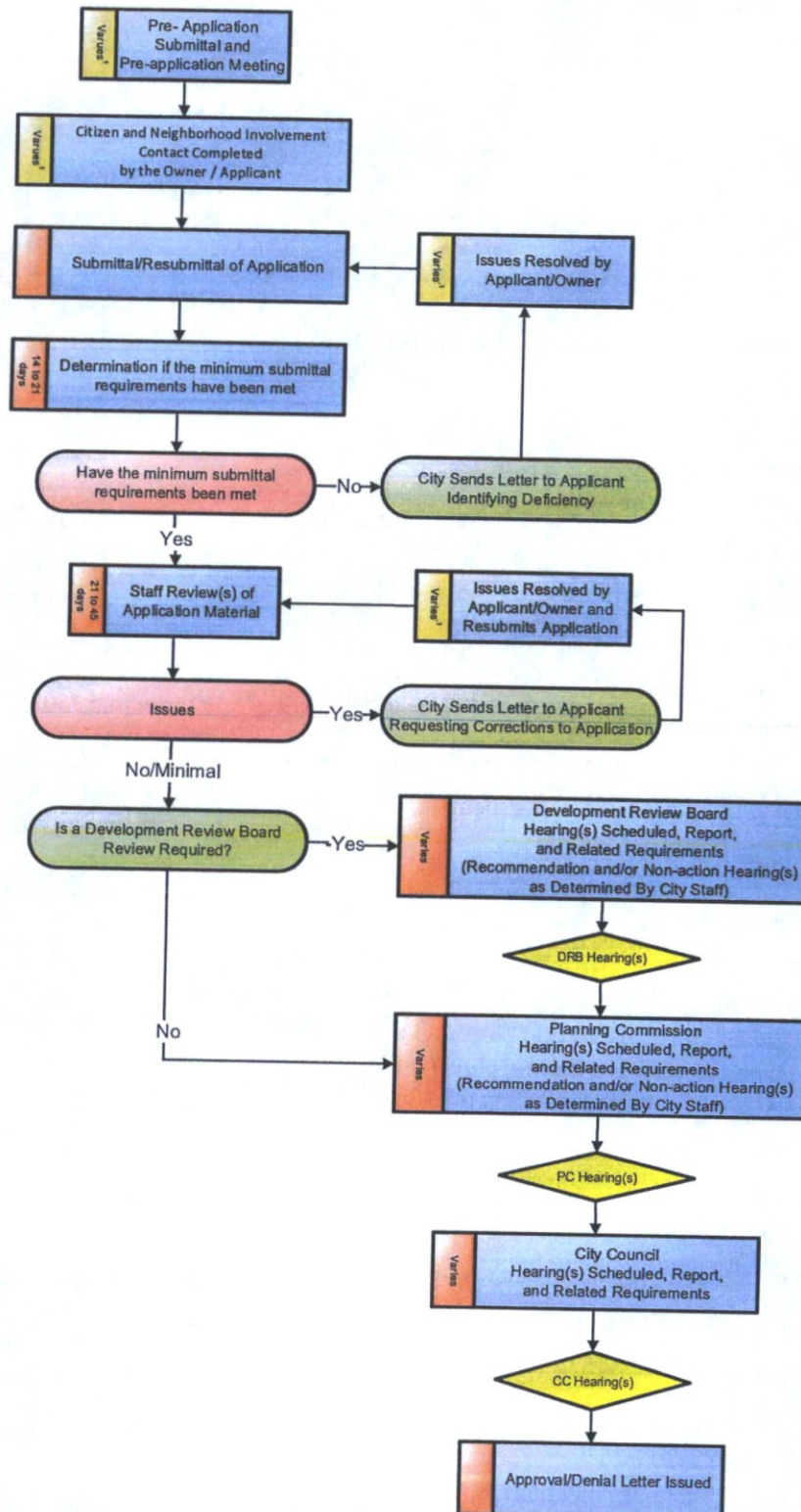
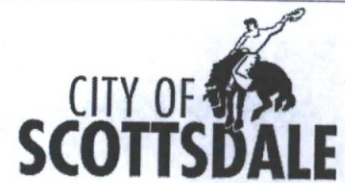
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# Development Application Process

Abandonment (AB), Municipal Use Master Site Plan (UP), Infill Incentive (II), & Zoning District Map Amendment (ZN)



Note:

1. Time period determined by owner/applicant.

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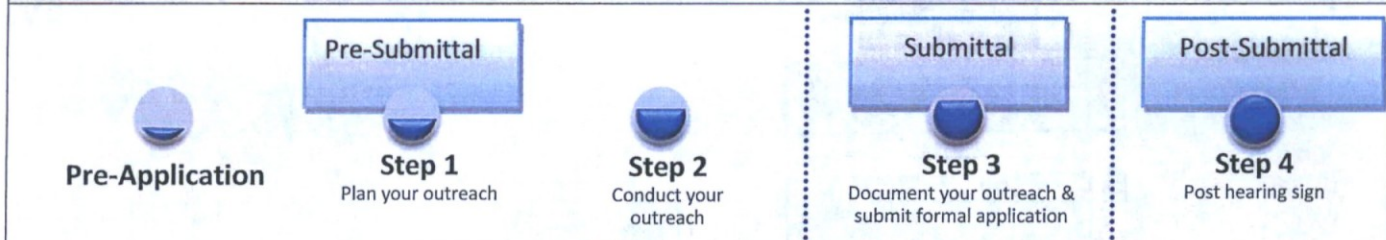


# Public Participation

-Non-major General Plan Amendment (GP)  
-Rezoning (ZN)  
-Infill Incentive (II)



Public participation ensures early notification and involvement prior to formal application submittal, which is an integral component of Scottsdale's public hearing process.



## Step 1: Complete Citizen Review Plan prior to conducting neighborhood outreach

The Plan shall include:

1. Where and when the open house will be held
2. How and when neighbors will be notified
3. School districts shall be notified 30 days prior to filing the formal application when rezoning from a non-residential to a residential district or when greater residential densities are proposed. Refer to the Collaborative City and School Planning packet.

## Step 2: Complete Neighborhood Involvement Outreach

Hold a minimum of 1 Open House Meeting prior to formal application submittal.

- Send open house invite via 1st Class Letter to property owners & HOAs within 750' of the property that is the subject of the rezoning or non-major General Plan amendment, to the City's interested parties lists (GP list and standard list), and to the City project coordinator. Invitations need to be sent at least 10 calendar days prior to the open house meeting, and include the following information:
  - Project request and description
  - Pre-application number (xx-PA-xxxx)
  - Project location (street address)
  - Size (e.g. Number of acres of project, square footage of lot)
  - Existing General Plan land use designation graphic for zoning cases
  - Existing and Proposed General Plan land use designations for non-major GP cases
  - Zoning (for ZN case: existing and proposed graphics)
  - Applicant and City contact names, phone numbers, and email addresses
  - Scheduled open house(s) - including time, date, and location
  - Any associated active cases
- Post **Project Under Consideration** sign at least 10 calendar days prior to your Open House Meeting (See Project Under Consideration (White Sign) posting requirements)
- E-mail open house information to the Project Coordinator and to: [planninginfo@scottsdaleaz.gov](mailto:planninginfo@scottsdaleaz.gov)
- Provide sign-in sheets and comment sheets at the open house meeting
- Avoid holding the Open House meeting on holidays, weekends, and during working hours
- Maintain contact with property owners and other interested parties throughout the process to achieve productive neighborhood involvement
- Hold additional open house meetings as necessary to encourage public participation and productive neighborhood involvement



# Public Participation

-Non-major General Plan Amendment (GP)  
-Rezoning (ZN)  
-Infill Incentive (II)



**Step 3: Complete and include a Neighborhood Involvement Report (GP)/Citizen Review Report (ZN) and Citizen Review Plan with application submittal**

The Report shall include:

- A. Details of the methods used to involve the public including:
  1. A map showing the number of and where notified neighbors are located
  2. A list of names, phone numbers/addresses of contacted parties (e.g. neighbors/property owners, School District representatives, and HOAs)
  3. The dates contacted, how they were contacted, and the number of times contacted
  4. Copies of letters or other means used to contact property owners and other interested parties, school districts, and HOAs; along with copies of all comments, letters, and correspondence received
  5. List of dates and locations of all meetings (e.g. open house meetings, meetings with individual/groups of citizens, and HOA meetings)
  6. The open house sign-in sheets, a list of all people that participated in the process, and comment sheets, along with a written summary of the meeting
  7. The completed affidavit of sign posting with a time/date stamped photo (form provided)
- B. A written summary of the public comments including: project aspects supported of issue or concern and problems expressed by citizens during the process including:
  1. The substance of the comments
  2. The method by which the applicant has addressed or intends to address the comments identified during the process

**Step 4: Post public hearing sign at least 15 calendar days prior to public hearing (see Public Hearing (Red Sign) posting requirements), and submit the completed affidavit of sign posting with a time/date stamped photo**

**City will conduct additional public notification**

- Mailing out postcards to the City's standard interested parties list and property owners within 750 feet of the property that is the subject of the rezoning or non-major General Plan amendment
- Publishing required legal ad in newspaper
- Posting case information on the City website
- Posting case information on social media
- Sending case information to email subscribers

**Related Resources:**

- Project Under Consideration Sign Posting Requirements
- Affidavit of Posting
- Public Hearing Sign Posting Requirements
- Collaborative City and School Planning Packet
- Zoning Ordinance Sec. 1.305.C (Citizen Review Process)
- City of Scottsdale General Plan 2001
- Interested Parties List



## Project Narrative

690-PA-2018

Rezoning and Development Review Board for:

### 75 on 2<sup>nd</sup>

#### **A Boutique Apartment Infill Development**

Location: Northeast Corner of 75<sup>th</sup> Street & 2<sup>nd</sup> Street  
7502 N. 2<sup>nd</sup> Street

Request: Rezone from **D/OR-2 DO** (Downtown/Office Residential – Type 2 Downtown Overlay) and **S-R DO** (Service Residential Downtown Overlay), to **D/DMU-2 DO** (Downtown / Downtown Mixed-Use Type 2 Downtown Overlay)

Prepared for: 75<sup>th</sup> & 2<sup>nd</sup>, LLC  
Tom Frenkel  
7340 E. Main St. #200  
Scottsdale, AZ 85251

Prepared by: K&I Homes, LLC  
Kristjan Sigurdsson, Principal Architect  
6125 E. Indian School Rd., Suite 2005  
Scottsdale, AZ 85251

Date: February 6, 2019





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## Overview

### The Request

This request is for a rezoning of 4 parcels from **D/OR-2 DO** (Downtown/Office Residential – Type 2 Downtown Overlay) and **S-R DO** (Service Residential Downtown Overlay), to **D/DMU-2 DO** (Downtown / Downtown Mixed-Use Type 2 Downtown Overlay) on approximately 1.1 Gross acre site, located on the Northeast corner of 75<sup>th</sup> Street and 2<sup>nd</sup> Street, in the Civic Center District of Old Town Scottsdale.

The existing site contains three office buildings, two of which are old and dilapidated. All existing buildings and site improvements are scheduled to be demolished and removed as part of this development.

The current owner, Clayton Companies ([claytoncompanies.com](http://claytoncompanies.com)) is planning to re-develop the site into a high-quality boutique apartment building, as per the attached plans. The Clayton Companies, headed by Tom Frenkel, has developed or redeveloped numerous high-quality projects throughout Scottsdale over the last 3 decades. Notable residential developments include **The Tom/Scot** ([thetomscot.com](http://thetomscot.com)), and **77 on the Park** ([77onthepark.com](http://77onthepark.com)), in Scottsdale, both of which were also designed by K&I Homes, and proven to be very successful projects.

The Clayton Companies goals are to build long-term relationships with both their tenants and the community. They look beyond short-term gains, and design and build for a long-term hold, retaining ownership of their buildings for decades. Consequently, this proposed project includes features rarely, if ever, provided by the typical apartment developer. This includes much larger unit size (1 Bedroom units averaging 870 SF, and 2 Bedroom units averaging 1,370 SF), separate laundry and powder rooms, large 8' deep balconies (average size 190 SF – more than three times that required by ordinance). In addition, well-appointed outdoor and indoor amenity area are being provided, way beyond what is typically provided in projects of this size. Experience has shown that this leads to longer-term leases and very low turnover rates, where residents get to know each other, form long term relationships and create a truly comfortable and secure sense of community.

This proposed project that will include 39 living units, in a 3 and 4 story building. Associated amenity areas will be included at ground level along the Street frontage. The project will include a mix of 1- and 2-bedroom units, ranging in size from 750-1400 SF. All of the required parking will be provided in a ground level parking garage accessed from the existing alley.

Concurrent with the Re-Zoning we are requesting Development Review Board Approval of the proposed project.

### The Context

The property is adjacent to mixed-use, residential, commercial and civic properties of varying age, character, condition, scale and density.

To the East is the Scottsdale Public Library and Civic Center Mall.

To the North are several older office and residential properties, separated by the existing alley.

To the West is a newly redeveloped residential office

To the South is The Clayton House, a special events venue recently completed by the same developer, and cited in the Old Town Scottsdale Character Area Plan for high quality design through adaptive reuse.

The Old Town Districts provide regional appeal for future residents. This application is driven by the site's prime location and a strong demand for multi-family residential rental units in the area.



The proposed project is a natural fit and compliments the fabric of existing land uses found within the area. The proposed development will promote an integrated, sustainable character for the area with a strong live, work and play component.

The development of this site will continue the revitalization of the surrounding community and provide attractive new housing options. It will also be a catalyst for future redevelopment in the area. Reinvestment and redevelopment in this mature area of the City is critical to its future success.

### The Design

The Building Style can be considered as Modern or Contemporary with a Mid-Century Modern twist. It is a timeless design characterized by straight edges and smooth rectilinear forms in a balanced composition that expresses the form and functionality of its components.

The building has a demanding, yet sophisticated street presence that will provide a unique and attractive streetscape. The street side perimeter incorporates outdoor patios and amenity spaces for residents and visitors.

The building mass is extruded, recessed and stepped in both the horizontal and vertical planes, providing relief, visual interest and a multitude of separately identifiable components. The building height steps down from 4 story in the middle to 3 story on the East and West to properly transition to adjacent properties.

Color and materials have been carefully selected to complement the existing context, as well as to provide a unique identity. The main building material (stucco) and color closely matches that of the Scottsdale Library across the street to the East. The woodgrain siding at ground level and corner element closely matches that of The Clayton House across the street to the South, as do the stucco accents and exposed CMU block. The orange and teal accent colors are classic mid-century modern colors that reinforce the architecture and provide a unique identity for building.

### The Open Space / Landscaping

The proposed project promotes the value of usable open space on several levels and creates a walkable community with connectivity to the surrounding land uses. While Open Space, other than the building setback are not required by ordinance, the project includes approximately 30% of the net site area as hardscape, landscape and open space, including a boutique hotel like pool/amenity area along the 75<sup>th</sup> Street frontage, creating a gathering place that fosters social interaction among residents. While a safety/security fencing is needed around the pool area, it is visually open to the street. A large activity deck is also provided on the 2<sup>nd</sup> floor above the gym, that fronts on the street. In addition to that all of the units fronting the streets have continuous 8' deep balconies along the entire unit. Averaging 2-300 SF, these balconies become outdoor living extensions of the units, rather than just a required ordinance appendix. They are sure to be frequently utilized by residents, supporting leisure and high quality of life.

While no side yard setback is required by ordinance, a 20 foot landscape buffer is provided on the East side of the building, respecting our single-family office residential neighbor.

The landscaping for the development will be in conformance with city standards and approved palette. Low-water use indigenous plants and trees will be used throughout the project. Turf areas for active and passive recreational use will utilize artificial turf material to conserve water use.

Landscaping along the streets will continue the theme established by The Clayton House across the street to the South. This will create a unified landscape character for a significant stretch on both sides of the street.



### The Environment

The design will respect and enhance the unique climate through the use of solar shading, landscaping, recessed and covered balconies, large overhangs, articulation, material selection, textures and light paint colors.

The interior parking garage eliminates all asphalt from the site, significantly reducing the typical heat-island effect.

The development anticipates achieving a high level of sustainability, utilizing recognized green building features.

### The Pedestrian

The site is ideally located within close proximity (walking distance) to abundant retail, restaurant, entertainment and services, to create a sustainable, walk friendly environment.

The location encourages residents to walk, bike and utilize transit opportunities. The adjacent streets provide a framework for pedestrian and bicycle connections between the project and other surrounding land uses. This promotes reduced vehicular trip generation, and a sustainable, walkable community.

To better the pedestrian experience, the sidewalk along 75<sup>th</sup> Street has been detached and widened, and a landscape buffer has been added between the street and the sidewalk.

### The Parking

There is no Parking Lot. All of the required parking will be provided in a ground level parking garage accessed from the existing alley.

There will be no vehicular access drives from either street. Existing driveway along 75<sup>th</sup> Street is being removed, and two additional on street parking spaces added instead.



## **Scottsdale General Plan 2001**

The Scottsdale General Plan designates the property as 'Old Town Scottsdale'

Below is an outline of how the proposed project aligns with and reinforces some of the key goals and policies of the General Plan.

### **CHARACTER AND DESIGN**

#### **Goal 1. Determine the appropriateness of all development in terms of community goals, surrounding area character, and the specific context of the surrounding neighborhood.**

- Respond to regional and citywide contexts with new and revitalized development in terms of:
  - Relationships to surrounding land forms, land uses and transportation corridors.
  - Contributions to city wide linkages of open space and activity zones.
  - Consistently high community quality expectations.
  - Physical scale relating to the human perception at different points of experience.
  - Visual impacts (views, lighting, etc.) upon public settings and neighboring properties.
- Encourage projects that are responsive to the natural environment, site conditions, and unique character of each area, while being responsive to people's needs.
- Ensure that all development is a part of and contributes to the established or planned character of the area of the proposed location.

75on2nd is a high-quality urban infill project that is context appropriate and responsive to the natural environment. It fits perfectly within the surrounding land uses and contributes highly to the character of the area.

#### **Goal 2. Review the design of all development proposals to foster quality design that enhances Scottsdale as a unique southwestern desert community.**

- Promote development that respects and enhances the unique climate, topography, vegetation and historical context of Scottsdale's Sonoran Desert environment, all of which are considered amenities that help sustain our community and its quality of life.
- Promote, evaluate and maintain the Scottsdale Sensitive Design Principles that when followed will help improve and reinforce the quality of design in our community.

75on2nd is carefully designed to be responsive to the unique local climate through the use of building orientation, solar shading, landscaping, recessed and covered balconies, large overhangs, articulation, material selection, textures and light paint colors.

#### **Goal 6. Recognize the value and visual significance that landscaping has upon the character of the community and maintain standards that result in substantial, mature landscaping that reinforces the character of the city.**

- Require substantial landscaping be provided as part of new development or redevelopment.
- Maintain the landscaping materials and pattern within a character area.

Landscaping along the streets will continue the theme established by The Clayton House across the street to the South. This will create a unified landscape character for a significant stretch on both sides of the street.



## **LAND USE**

**Goal 4. Maintain a balance of land uses that support a high quality of life, a diverse mixture of housing and leisure opportunities and the economic base needed to secure resources to support the community.**

- Allow for a diversity of residential uses and supporting services that provide for the needs of the community.
- Provide a variety of housing types and densities and innovative development patterns and building methods that will result in greater housing affordability.

This boutique apartment project will include 39 rental units, with a mix of One- and Two-Bedroom units of varying sizes, providing an attractive new housing option for the community.

**Goal 5. Develop land use patterns that are compatible with and support a variety of mobility opportunities/choices and service provisions.**

- Integrate the pattern of land uses and mobility systems in ways that allow for shorter and fewer automobile trips and greater choices for mobility.
- Encourage non-motorized (pedestrian and bicycle) access/circulation within and to mixed-use centers to reduce reliance on the automobile.
- Provide a balance of live, work, and play land uses and development intensities that enable convenient non-automotive trips (pedestrian and cycling and transit) where environmentally and physically feasible.

The Site is located within close proximity (walking distance) to abundant retail, restaurant and services, to create a sustainable, walk friendly environment that takes advantage of the huge employment and service base in the vicinity of the property.

**Goal 6. Promote land use patterns that conserve resources such as land, clean air, water, and energy and serve all people within the community.**

- Encourage a variety of compatible mixed-use land uses throughout the city in appropriate locations allowing people to live, work, play and shop in the same general area.
- Protect and revitalize established areas/neighborhoods by promoting new development and the adaptive reuse of existing community resources that re-energize an area.

The location of the property provides connectivity to the established retail, restaurant, services and huge employment base in the nearby area. 75on2nd will promote an integrated, sustainable character for the area with a strong live, work and play component. As an infill redevelopment project, 75on2nd will provide revitalization and more productive use for this core area of Scottsdale. Reinvestment and redevelopment in this mature area of the City is critical to its future success.

**Goal 9. Provide a broad variety of land uses that create a high level of synergy within mixed-use neighborhoods.**

- Incorporate a diverse range of residential and non-residential uses and densities within mixed-use neighborhoods.
- Encourage redevelopment that invigorates an area while also respecting the character of adjacent neighborhoods.
- Encourage compact mixed-use, pedestrian oriented development patterns, at urban densities, that limit the demand for parking and unnecessary automobile trips and support alternative modes of mobility.

72on2nd incorporates a range of residential uses within a mixed-use neighborhood. The compact, high-quality infill redevelopment will invigorate the area, while being respectful to surrounding neighbors. The close proximity to a great variety of commercial, retail and service activities within the area encourages residents to walk and bike, reducing unnecessary automobile trips.



## **ECONOMIC VITALITY**

### **Goal 7. Sustain the long-term economic wellbeing of the city and its citizens through redevelopment and revitalization efforts.**

- Encourage and support the renovation and reuse of underutilized or vacant parcels/buildings/shopping centers.
- Enhance the experience for visitors who evaluate the quality of their experience through their visual impressions of the community by revitalizing the mature built environment of businesses and neighborhoods.

The existing underutilized site contains three small office buildings, two of which are old and dilapidated. All existing buildings and site improvements are scheduled to be demolished and removed as part of this development. In addition to providing a much more effective and appropriate use for the area, 75on2nd will be a huge visual improvement that will continue to revitalize.

## **HOUSING**

### **Goal 4. Encourage housing development that provides for "live, work, and play" relationships as a way to reduce traffic congestion, encourage economic expansion and increase overall quality of life for our residents.**

- Encourage a variety of housing densities throughout Scottsdale, with mixed-uses in areas of major employment and transit hubs, to offer greater live-work choices to a broader economic range of households.
- Encourage housing linked/connected to the city's mobility system.

The site is located in close proximity to a huge employment base that includes two of Scottsdale's largest employers, the City of Scottsdale, and HonorHealth. Public bus and tram service are available within a short walking distance. The site is also just a short distance from several major arterials and the Loop 101, a regional access way.

## **NEIGHBORHOODS**

### **Goal 1. Enhance and protect diverse neighborhoods so they are safe and well maintained.**

- Provide for a range of housing opportunities.

75on2nd includes 39 rental units of varying sizes in a boutique environment, providing unique new housing option for the community.

### **Goal 3. Sustain the long-term economic well being of the city and its citizens through redevelopment and neighborhood preservation and revitalization efforts.**

- Use redevelopment and revitalization techniques to positively impact the visual and aesthetic impressions that tourists, citizens, and the businesses have of the overall city.
- Maintain and create opportunities for quality housing for all citizens. This is a crucial component of Scottsdale's local economy.

75on2nd is a redevelopment of an under-utilized blighted parcel in a prime downtown location. The scale and quality of the proposed project will be a huge visual improvement and help to revitalize the area. 75on2nd provides for high quality rental housing, and includes features rarely, if ever, provided by the typical apartment developer. This includes much larger unit size, separate laundry/powder rooms, and large 8' deep balconies. In addition, well-appointed outdoor and indoor amenity area are being provided, way beyond what is typically provided in projects of this size



**Goal 5. Promote and encourage context-appropriate new development in established areas of the community.**

- Encourage new development efforts toward existing developed areas in Scottsdale.
- Promote the use of existing infrastructure as an incentive to encourage more infill development within the community.
- Promote existing developed areas of the community as opportune economic development infill sites.

The property is adjacent to mixed-use, residential, commercial and civic properties of varying age, character, condition, scale and density. The proposed project is a natural fit and compliments the fabric of existing land uses found within the area. Massing and height are sensitive to adjacent properties. Color and materials have also been carefully selected to complement the existing context.

**COMMUNITY MOBILITY**

**8. Emphasize live, work, and play land use relationships to optimize the use of citywide systems and reduce the strain on regional and local/neighborhood systems.**

- Encourage the development or redevelopment of areas that support a balance of live, work and play land use relationships and alternative modes of transportation that reduce the reliance on the automobile.

75on2nd is ideally located within close proximity to abundant retail, restaurant, entertainment and services, to create a sustainable, walk friendly environment with a strong live, work and play component. The location encourages residents to walk, bike and utilize transit opportunities. The adjacent streets provide a framework for pedestrian and bicycle connections between the project and other surrounding land uses.



## **Old Town Scottsdale Character Area Plan**

The Old Town Scottsdale Plan establishes the vision for Old Town Scottsdale.

Below is an outline of how the proposed project aligns with and reinforces some of the key goals and policies of the Character Area Plan.

### **LAND USE**

#### **GOAL LU 3**

CONTINUE THE USE OF DEVELOPMENT TYPES TO GUIDE THE PHYSICAL AND BUILT FORM OF OLD TOWN SCOTTSDALE.

##### **Policy LU 3.2**

Support higher scale Type 2 development in the majority of the Multiple Use areas surrounding the Downtown Core.

This project is located in The Downtown Civic Center District and Designated as a Type 2 Development Type.

#### **GOAL LU 5**

PROMOTE DIVERSITY IN OLD TOWN HOUSING OPTIONS.

##### **Policy LU 5.1**

Develop a variety of housing types such as apartments, condominiums, lofts, townhomes, patio homes, and live/work units.

##### **Policy LU 5.2**

Recognize the need for housing developments that are large scale projects with numerous units and amenities, as well as small infill projects with a limited number of units.

72on2nd is a unique, high quality boutique apartment project on a small infill site.

#### **GOAL LU 6**

ENCOURAGE A MIX OF LAND USES TO SUPPORT A WALKABLE AND SUSTAINABLE DOWNTOWN.

##### **Policy LU 6.1**

Encourage development to provide a mix of uses and active street frontages, particularly in the Downtown Core, along Scottsdale Road, adjacent to primary open space areas and within the more active Old Town districts. For development in peripheral areas such as the Garden District, the Scottsdale Arts District and portions of the Fifth Avenue District west of Goldwater Boulevard, and the Civic Center and Brown and Stetson Districts east of 75th Street that may not be able to support a mix of uses with active frontages, encourage features that create visual interest at the pedestrian level.

The project location does not support extended ground floor mixed-uses and related street activities. Instead, the street side perimeter incorporates outdoor patios, decks and amenity spaces for residents and visitors, creating a gathering place that fosters social interaction and creates visual interest at the pedestrian level.



## **CHARACTER & DESIGN**

### **GOAL CD 1**

**STRENGTHEN AND ENHANCE OLD TOWN DISTRICT CHARACTER WITH CONTEXTUALLY COMPATIBLE DEVELOPMENT.**

#### **Policy CD 1.2**

Encourage public and private development to establish new urban design and architectural character in areas where downtown development patterns are fragmented or are in transition.

This area of downtown east of 75<sup>th</sup> Street is in the early phases of redevelopment and revitalization, transitioning from low scale/density office residential to the designated Type 2 development area. 75on2nd will continue to establish the architectural character for the area started by recent redevelopment projects, while also creating a unique identity.

### **GOAL CD 3**

**OLD TOWN DEVELOPMENT SHOULD RESPECT AND RESPOND TO THE UNIQUE CLIMATE AND CONTEXT OF THE SOUTHWESTERN SONORAN DESERT.**

#### **Policy CD 3.1**

Promote downtown urban and architectural design that is influenced by, and responds to, the character and climate of the Sonoran Desert.

#### **Policy CD 3.3**

Pursue building and development strategies that reduce the heat island effect within downtown.

75on2nd is carefully designed to be responsive to the unique local climate through the use of building orientation, solar shading, landscaping, recessed and covered balconies, large overhangs, articulation, material selection, textures and light paint colors. In addition, asphalt and parking lots have been eliminated from the site and placed inside the building, reducing the heat island effect.

### **GOAL CD 6**

**CREATE SAFE, COMFORTABLE, AND INTERESTING STREET SPACES.**

#### **Policy CD 6.3**

Streetscapes should provide continuity for the pedestrian across different developments along the same street. This continuity can be established through the provision of consistent landscape improvements, street tree themes, shade elements, decorative paving, street furniture, public art, and other integrated infrastructure elements.

To better the pedestrian experience, the sidewalk along 75<sup>th</sup> Street has been detached and widened, and a landscape buffer has been added between the street and the sidewalk. Landscaping along both streets will continue the theme established by The Clayton House across the street to the South. This will create a unified landscape character for a significant stretch on both sides of the street.

### **GOAL CD 9**

**IMPLEMENT HIGH QUALITY URBAN AND ARCHITECTURAL DESIGN IN OLD TOWN.**

#### **Policy CD 9.2**

Incorporate the *Scottsdale Sensitive Design Principles* and the *Old Town Urban Design and Architectural Guidelines* in all development.

75on2nd incorporates many of the Sensitive Design Principles and Urban Design Guidelines as detailed in Section IV and V of this application.



## **ECONOMIC VITALITY**

### **GOAL EV 2**

**PROMOTE PRIVATE INVESTMENT IN, AND ATTRACT NEW DEVELOPMENT TO, OLD TOWN.**

#### **Policy EV 2.1**

Encourage investment in residential and commercial development that ensures Old Town's economic competitiveness regionally and nationally.

#### **Policy EV 2.2**

Promote a mix of daytime/nighttime activities year-round through residential and commercial development in Old Town.

#### **Policy EV 2.8**

Recognize that talent is a critical component of business location decisions and enhance Old Town's quality of life amenities and housing choices, to appeal to a skilled workforce.

75on2nd is a unique high-quality boutique apartment project that provides an attractive alternative to the typical large-scale apartment complex, that will attract young professionals to the area. New residents will support nearby services 24/7 and help energize the surrounding area.



## **Downtown Scottsdale – Urban Design & Architectural Guidelines**

The primary purpose of these Guidelines is to influence the general character of new projects so Downtown will preserve its present qualities as it develops.

Below is an outline of how the proposed project aligns with and reinforces some of the key goals and policies of the Guidelines

### **A. SITE DEVELOPMENT**

#### **A1. RELATIONSHIP OF NEW TO EXISTING DEVELOPMENT**

- All development proposals should show evidence of coordination with the site plan, arrangement of building forms and landscape design and facade patterns of neighboring properties. New buildings must coexist with their neighbors. While a firm rule is not possible, every new proposal must demonstrate it has considered the contextual influences of neighboring properties and has made a diligent effort to orchestrate careful relationships between new and old

The property is adjacent to mixed-use, residential, commercial and civic properties of varying age, character, condition, scale and density. The site plan and building form have been carefully articulated to coordinate with and respect neighboring properties. The building height steps down from 4 story in the middle to 3 story on the East and West to properly transition to adjacent properties. The 4-story portion of the building is set back further from the street and buffered by a single-story gym building and outdoor amenity spaces. While no side yard setback is required by ordinance, a 20 foot landscape buffer is provided on the East side of the building, respecting our single-family office residential neighbor. Color and materials have also been carefully selected to complement the existing context. The main building color closely matches that of the Scottsdale Library across the street to the East. The woodgrain siding at ground level and corner element closely matches that of The Clayton House across the street to the South, as do the stucco accents and exposed CMU block.

#### **A4. PARKING FACILITIES**

- Minimize the visual impact of parking structures and parking lots by locating them at the rear or interior portions of building sites.
- Parking access from alleys and side streets is desired. The number of entrances to parking facilities from other streets, especially major arterials, should be kept to a minimum.

All of the required parking will be provided in a ground level parking garage accessed from the existing alley. There is no driveway entrance from either street, and the parking garage is screened from the street by the residential amenity areas provided.

#### **A5. BUILDING EQUIPMENT AND SERVICES**

- Locate service and loading zones to minimize visibility from public streets.
- On Downtown building sites served by the alley system, locate all serve-delivery entrances, loading docks and refuse collection facilities in the alley area.

All building services are located off the existing alley. Mechanical equipment is located on the roof, screened by the building parapets. Electrical services are located inside the parking garage.

#### **A8. THE CONTINUITY OF STREET SPACES**

- Buildings should create consistent street setback patterns by locating a maximum amount of their front elevation on the setback line.
- The preferred building-street relationship is to place buildings parallel to the street.

#### **Corner Buildings**

Corner buildings should make a strong tie to the building lines of each street.

The building is placed parallel to both streets and located at the minimum or prevailing setback in conformance with the Scottsdale Zoning Ordinance for Downtown. A strong corner element is provided emphasizing the main building entry and ground floor office use.



## **A9. THE BUILDING SETBACK ZONE**

- The building setback zone should be developed as a "patio" landscape designed primarily for pedestrian activity and enjoyment.
- The planting plan along street edges should be linear and rhythmic with occasional contrasts and accents.
- Trees scaled and located to create shade for pedestrians and for appreciation by passing motorists.

The building setback zone incorporates outdoor patios and amenity spaces for residents and visitors, creating a gathering place that fosters social interaction. Landscaping along both streets will continue the linear and rhythmic theme established by The Clayton House across the street to the South. The sidewalk along 75<sup>th</sup> Street has been detached and widened, and a tree lined landscape buffer has been added between the street and the sidewalk to create shade for pedestrians.

## **B. BUILDING FORM**

### **B1. REDUCTION OF APPARENT SIZE AND BULK**

Downtown buildings of three or more stories should be designed as carefully-orchestrated compositions of smaller parts. Every building should reduce its perceived height and bulk by dividing the building mass into smaller-scale components. Large or long continuous wall planes should be avoided. As a general principle, building surfaces over two stories high or 50 feet in length should be relieved with a change of wall plane that provides strong shadow and visual interest.

The building form is extruded, recessed and stepped in both the horizontal and vertical planes, providing relief, visual interest and a multitude of separately identifiable components.

### **B2. COMPOSITION OF RECESSES AND PROJECTIONS**

Recesses and projections are encouraged to divide horizontal planes of the building into smaller-scale elements and to produce strong areas of shade and shadow.

- Recesses may be used to define courtyards, entries or other outdoor spaces along the perimeter of the building. Recessed courtyard to divide building mass into smaller parts
- Recessed balconies, porches and loggias create a sense of depth in the building wall, contrasting surfaces exposed to the sun with those in the shadow. The strong, alternating light and dark pattern is a distinctive quality of regional architecture in the Southwest.
- Projections may be used to emphasize important architectural elements such as entrances, bays, stair towers, balconies and verandas.

The center 4 story portion of the building is recessed to provide for the outdoor pool amenity area. Large balconies are both recessed and extruded from the building mass, creating an interplay of light and shadow, that is further enhanced by change in color and materials. The stair towers anchor the building components and break up the overall mass by forming a strong vertical element, in an otherwise horizontal composition.

## **C. ARCHITECTURAL CHARACTER**

### **C1. PROPORTION AND SCALE**

- Building proportions with horizontal emphasis are generally desired.
- It is desirable that the spacing of elements in facades be varied rather than repetitive. Avoid repetitive proportions. Varied proportions encouraged.

The large balconies create a horizontal emphasis to the building proportions. The building mass is extruded, recessed and stepped in both the horizontal and vertical planes, providing relief, visual interest and a multitude of separately identifiable components of varied proportions.



## **C2. BUILDING MATERIALS**

- Restraint should be used in the number of different building materials selected. Simplicity of palette is desired.
- Building materials similar to those in predominant use on the street or in the district of the new project are encouraged.

## **C3. COLOR AND TEXTURE**

- Building colors should emphasize light and muted colors, with light earth tones dominant.
- Color selection should show evidence of coordination with the predominant use of color on the street and district of the new project.

Color and materials have been carefully selected to complement the architectural design and the existing context. The main building stucco/color closely matches that of the Scottsdale Library across the street to the East. The woodgrain siding at ground level and corner element closely matches that of The Clayton House across the street to the South, as do the stucco accents and exposed CMU block.

## **C3. ARCHITECTURAL DETAIL - BALCONIES**

Balconies provide space for outdoor activity and are often helpful to give scale to a building wall. They provide an element of human size which can effectively contrast with the solid, massive character of a wall.

Large deep balconies are a very important component of the design and building character.

All of the units fronting the streets have more or less continuous 8' deep balconies along the entire unit.

Averaging 2-300 SF, these balconies become outdoor living extensions of the units, that are sure to be frequently utilized by residents.

## **D. LANDSCAPE CHARACTER**

### **D1. STREETS**

- Plants, street furniture, paving, and other landscape elements should be organized along streets to create a unified civic appearance. The materials and layout of these elements should conform to City standards.
- A safe comfortable pedestrian environment should be created as a result of creative street frontage design. Give primary consideration to provision of ample shade, special paving, and buffer between the street and walking space.

The landscaping for the development will be in conformance with city standards and approved palette. Landscaping along the streets will continue the theme established by The Clayton House across the street to the South. This will create a unified landscape character for a significant stretch on both sides of the street. To better the pedestrian experience, the sidewalk along 75<sup>th</sup> Street has been detached and widened, and a landscape buffer has been added between the street and the sidewalk.



## Scottsdale's Sensitive Design Principles

The proposed development will embrace and implement the following Sensitive Design Principles, that improve and reinforce the quality of design in the community:

1. The design character of any area should be enhanced and strengthened by new development.  
The design compliments and significantly enhances the existing urban fabric of the surrounding area. The street side perimeter incorporates outdoor patios and amenity spaces for residents and visitors. Color and materials have been carefully selected to complement the existing context, as well as to provide a unique identity.
5. The design of the public realm, including streetscapes, parks, plazas and civic amenities, is an opportunity to provide identity to the community and to convey its design expectations.  
The building has a demanding, yet sophisticated street presence that will provide a unique and attractive streetscape. The proposed project is a natural fit and compliments the fabric of existing land uses found within the area. The proposed development will promote an integrated, sustainable character for the area with a strong live, work and play component.
6. Developments should integrate alternative modes of transportation, including bicycles and bus access, within the pedestrian network that encourage social contact and interaction within the community.  
The site is located within close proximity to abundant retail, restaurant and services, to create a sustainable, walk friendly environment that takes advantage of the huge employment and service base in the vicinity of the property. The design encourages residents to walk, bike and utilize transit opportunities. The adjacent streets provide a framework for pedestrian and bicycle connections between the project and other surrounding land uses.
7. Development should show consideration for the pedestrian by providing landscaping and shading elements as well as inviting access connections to adjacent developments.  
The design provides elements that cater to the pedestrian through the use of building character, connectivity, landscaping, hardscape, and lighting. Landscaping along the streets will continue the theme established by The Clayton House across the street to the South. This will create a unified landscape character for a significant stretch on both sides of the street. To better the pedestrian experience, the sidewalk along 75<sup>th</sup> Street has been detached and widened, and a landscape buffer has been added between the street and the sidewalk.
8. Buildings should be designed with a logical hierarchy of masses:
  - To control the visual impact of a building's height and size  
The building mass is designed with a hierarchy of one-, three- and four-story building components. The 4-story portion of the building is set back further from the street and buffered by a single-story gym building and outdoor amenity spaces. The building height steps down from 4 story in the middle to 3 story on the East and West to properly transition to adjacent properties. While no side yard setback is required by ordinance, a 20-foot landscape buffer is provided on the East side of the building, respecting our single-family office residential neighbor



9. The design of the built environment should respond to the desert environment:

- Interior spaces should be extended into the outdoors both physically and visually when appropriate

Large and deep balconies are a very important component of the design and building character. All of the units fronting the streets have more or less continuous 8' deep balconies along the entire unit. Averaging 2-300 SF, these balconies become outdoor living extensions of the units.

- A variety of textures and natural materials should be used to provide visual interest and richness, particularly at the pedestrian level. Materials should be used honestly and reflect their inherent qualities

Color and materials have been carefully selected to complement the architectural design and the existing context. The main building stucco/color closely matches that of the Scottsdale Library across the street to the East. The woodgrain siding at ground level and corner element closely matches that of The Clayton House across the street to the South, as do the stucco accents and exposed CMU block. By principal the design is void of all arbitrary applied ornamentation, striving towards simplicity, honesty and clarity of form and beauty.

10. Developments should strive to incorporate sustainable and healthy building practices and products.

The development anticipates achieving a high level of sustainability, utilizing recognized green building features. The building and unit design will incorporate environmentally sustainable elements to increase energy efficiency. Additionally, pro-active recycling measures will be implemented on site for the residents.

13. The extent and quality of lighting should be integrally designed as part of the built environment.

Exterior lighting has been carefully integrated into the architecture, providing ambiance, identity and safety to residents and visitors alike.

14. Signage should consider the distinctive qualities and character of the surrounding context in terms of size, color, location and illumination.

- Signage should be designed to be complementary to the architecture, landscaping and design theme for the site, with due consideration for visibility and legibility.

The main project identification signs compliment and are an integral part of the architectural design.



## **Development Review Board Criteria**

### **Ordinances, Master Plans, General Plan, and Standards**

Describe how the proposed development will comply with the design and character elements of the General Plan, the appropriate character area plan, all applicable city-wide master plans, the zoning ordinance development standards, the Design Standards and Policies Manual, all applicable city-wide design guidelines, and the appropriate Master Environmental Design Concept Plan.

#### **Scottsdale General Plan**

The proposed development will comply with the 2001 General Plan as previously outlined in Section II.

#### **Old Town Scottsdale Character Area Plan**

The proposed development will comply with the Old Town Scottsdale Character Area Plan, as previously outlined in Section III.

#### **Scottsdale Zoning Ordinance**

The proposed development will comply with the development standards of the D/MU-2 zoning designation.

#### **Scottsdale Design Standards and Policies Manual**

The proposed development will comply with all relevant sections of the Scottsdale Design Standards and Policies Manual

#### **Downtown Plan Urban Design & Architectural Guidelines**

The proposed development will comply with the Downtown Plan Urban Design & Architectural Guidelines as previously outlined in Section IV.

#### **Scottsdale Sensitive Design Principals**

The proposed development will comply with the Scottsdale Sensitive Design Principals as previously outlined in Section V.

### **Architectural Character, Landscaping, and Site Design**

Explain how the proposed development has been designed so that it:

- Promotes a desirable relationship of structures to one another, to open spaces and topography, both on the site and in the surrounding neighborhood;

The property is adjacent to mixed-use, residential, commercial and civic properties of varying age, character, condition, scale and density. The site plan and building form have been carefully articulated to coordinate with and respect neighboring properties. The building height steps down from 4 story in the middle to 3 story on the East and West to properly transition to adjacent properties. The 4-story portion of the building is set back further from the street and buffered by a single-story gym building and outdoor amenity spaces. While no side yard setback is required by ordinance, a 20-foot landscape buffer is provided on the East side of the building, respecting our single-family office residential neighbor. Color and materials have also been carefully selected to complement the existing context. The main building color closely matches that of the Scottsdale Library across the street to the East. The woodgrain siding at ground level and corner element closely matches that of The Clayton House across the street to the South, as do the stucco accents and exposed CMU block.

- Avoids excessive variety and monotonous repetition;

The building mass is extruded, recessed and stepped in both the horizontal and vertical planes, providing relief, visual interest and a multitude of separately identifiable components, forming a balanced composition that expresses the form and functionality of its components.



- Recognizes the unique climatic and other environmental factors of this region to respond to the Sonoran Desert environment, as specified in the Sensitive Design Principles;  
The proposed development will comply with the Scottsdale Sensitive Design Principles as previously outlined in Section V.

#### **Ingress, Egress, On-Site Circulation, Parking, and Pedestrians**

Describe how the site layout of the proposed development has been designed to promote safety and convenience, relative to ingress, egress, internal traffic circulation, off-street parking facilities, loading and service areas, and pedestrian ways.

All of the required parking will be provided in a ground level parking garage accessed only from the existing alley. There is no driveway entrance from either street, providing a safe contiguous sidewalk along the entire street frontage.

#### **Mechanical and Utility Equipment**

Describe how the proposed development will locate mechanical equipment, appurtenances, and utilities so that these elements will not conflict with street frontage open space, pedestrian amenities, resident amenities, landscape features, or on-site circulation, and has utilized screening devices that are integral to the design of the building, in order to screen mechanical equipment, appurtenances and utilities.

All building services are located off the existing alley. Mechanical equipment is located on the roof, screened by the building parapets. Electrical services are located inside the parking garage.

#### **Downtown Area**

If the development proposal is within the Downtown Area, explain how the proposed development:

- Demonstrates conformance with the Downtown Plan Urban Design & Architectural Guidelines;  
The proposed development will comply with the Old Town Scottsdale Character Area Plan, as previously outlined in Section III, as well as the Downtown Plan Urban Design & Architectural Guidelines as previously outlined in Section IV.

- Incorporates urban and architectural design that address human scale and incorporates a pedestrian-oriented environment at the street level;

The street side perimeter incorporates outdoor patios and amenity spaces for residents and visitors, creating a gathering place that fosters social interaction. A large open deck is also provided on the 2<sup>nd</sup> floor above the gym, that fronts on the street. To better the pedestrian experience, the sidewalk along 75<sup>th</sup> Street has been detached and widened, and a landscape buffer has been added between the street and the sidewalk.

- Reflects contemporary and historic interpretations of Sonoran Desert architectural traditions, by subdividing the overall massing into smaller elements, expressing small scale details, and recessing fenestrations;

The building mass is extruded, recessed and stepped in both the horizontal and vertical planes, providing relief, visual interest and a multitude of separately identifiable components.

- Reflects the design features and materials of the urban neighborhoods in which the development is located; and

- Integrates building mass, height, materials, and intensity transitions between adjacent/abutting Type 1 and Type 2 Areas, and adjacent/abutting Type 2 Areas and existing development outside the Downtown Area.

The property is adjacent to mixed-use, residential, commercial and civic properties of varying age, character, condition, scale and density. As previously described, the building mass, height, materials and colors have been carefully selected to complement the existing context, as well as to provide a unique identity for the project.



## Conclusion

In summary, this request is for a rezoning of 4 parcels from **D/OR-2 DO** (Downtown/Office Residential – Type 2 Downtown Overlay) and **S-R DO** (Service Residential Downtown Overlay), to **D/DMU-2 DO** (Downtown / Downtown Mixed-Use Type 2 Downtown Overlay) on approximately 1.1 Gross acre site, located on the Northeast corner of 75<sup>th</sup> Street and 2<sup>nd</sup> Street, in the Civic Center District of Old Town Scottsdale.

This proposed project will include 39 living units, in a 3 and 4 story building with associated amenity areas included at ground level along the Street frontage. The project will include a mix of 1- and 2-bedroom units, ranging in size from 750-1400 SF. All of the required parking will be provided in a ground level parking garage accessed from the existing alley.

Concurrent with the Re-Zoning we are requesting Development Review Board Approval of the proposed project.

The proposed development achieves a wide range of goals including revitalizing an underutilized property, integrating high-quality, high-design, vibrant architecture and site planning to the area, and creating pedestrian synergy that will complement the surrounding land uses, and contribute to the live/work/play land use balance promoted by the Old Town Scottsdale Character Area Plan.

The development of this site will continue the revitalization of the surrounding community and provide attractive new housing options. It will also be a catalyst for future redevelopment in the area. Reinvestment and redevelopment in this mature area of the City is critical to its future success.

The surrounding restaurant, retail, service, and employment core will benefit from this development, and provide an attraction for future residents.

Concurrent with the Re-Zoning we are requesting Development Review Board Approval of the proposed project.

The development team is committed to delivering a sustainable development that will enrich and revitalize the character and success of the surrounding area and of the City of Scottsdale in general.

This application includes a range of exhibit including the site plan, elevations, perspective views, and landscape plans that demonstrate the character and high-level of design proposed for this site.



# Request for Site Visits and/or Inspections

## Development Application (Case Submittals)



This request concerns all property identified in the development application.

Pre-application No: 690 -PA- 2018

Project Name: 75 on 2nd

Project Address: 7502, 7508 & 7520 E 2nd St., Scottsdale AZ  
85251

### STATEMENT OF AUTHORITY:

1. I am the owner of the property, or I am the duly and lawfully appointed agent of the property and have the authority from the owner to sign this request on the owner's behalf. If the land has more than one owner, then I am the agent for all owners, and the word "owner" refer to them all.
2. I have the authority from the owner to act for the owner before the City of Scottsdale regarding any and all development application regulatory or related matter of every description involving all property identified in the development application.

### STATEMENT OF REQUEST FOR SITE VISITS AND/OR INSPECTIONS

1. I hereby request that the City of Scottsdale's staff conduct site visits and/or inspections of the property identified in the development application in order to efficiently process the application.
2. I understand that even though I have requested the City of Scottsdale's staff conduct site visits and/or inspections, city staff may determine that a site visit and/or an inspection is not necessary, and may opt not to perform the site visit and/or an inspection.

Property owner/Property owner's agent: Tom Frenkel

Print Name

Signature

### City Use Only:

Submittal Date: \_\_\_\_\_ Case number: \_\_\_\_\_

### Planning and Development Services

7447 E Indian School Road, Suite 105, Scottsdale, AZ 85251 ♦ [www.ScottsdaleAZ.gov](http://www.ScottsdaleAZ.gov)





## Memo: 75 on 2<sup>nd</sup> – Trip Generation Comparison

Date: 01/21/19  
TO: City of Scottsdale  
FROM: Eric Maceyko, P.E., PTOE  
Bryan Martin, P.E.

### **INTRODUCTION**

K & I Homes is planning a new multi-family residential development, named 75 on 2<sup>nd</sup>, that will encompass four existing occupied lots located within the downtown area of Scottsdale, Arizona. It is located on the northeast corner of 75<sup>th</sup> Street and 2<sup>nd</sup> Street. The new proposed development includes 39 new apartment dwelling units within a four-story building on a total gross area of 1.09 acres.

### **RESULTS**

**Table 1** provides the anticipated trip generation for the proposed development during the day and peak hours of traffic for a typical weekday.

**Table 1: Trip Generation – Proposed Development**

| Time Period                | Day   |      |       | AM Peak Hour |      |       | PM Peak Hour |      |       |
|----------------------------|-------|------|-------|--------------|------|-------|--------------|------|-------|
|                            | Enter | Exit | Total | Enter        | Exit | Total | Enter        | Exit | Total |
| Multi-Family (ITE LUC 221) | 106   | 106  | 212   | 4            | 12   | 16    | 11           | 7    | 18    |

The proposed multi-family development is anticipated to generate more daily traffic, morning exiting traffic and evening entering traffic than the existing development during the typical weekday. It is also anticipated to generate less morning entering traffic and evening exiting traffic than the existing development during the typical weekday.



**Figure 1** provides an aerial photograph of the proposed development vicinity and the adjacent streets. The proposed development will encompass the existing Lots 10-13 on the north side of 2<sup>nd</sup> Street east of 75<sup>th</sup> Street. The existing lots contain three standalone single-story buildings with office uses. The following building areas are currently provided:

- Lot 10 – 1,424 square feet
- Lot 11 – 1,065 square feet
- Lots 12 & 13 – 5,348 square feet

The surrounding area consists of a diverse mixture of residential, office and retail uses. Scottsdale City Hall, the Civic Center, the Scottsdale Stadium and the Civic Center Library are all located adjacent to the proposed site on the west side of 75<sup>th</sup> Street.

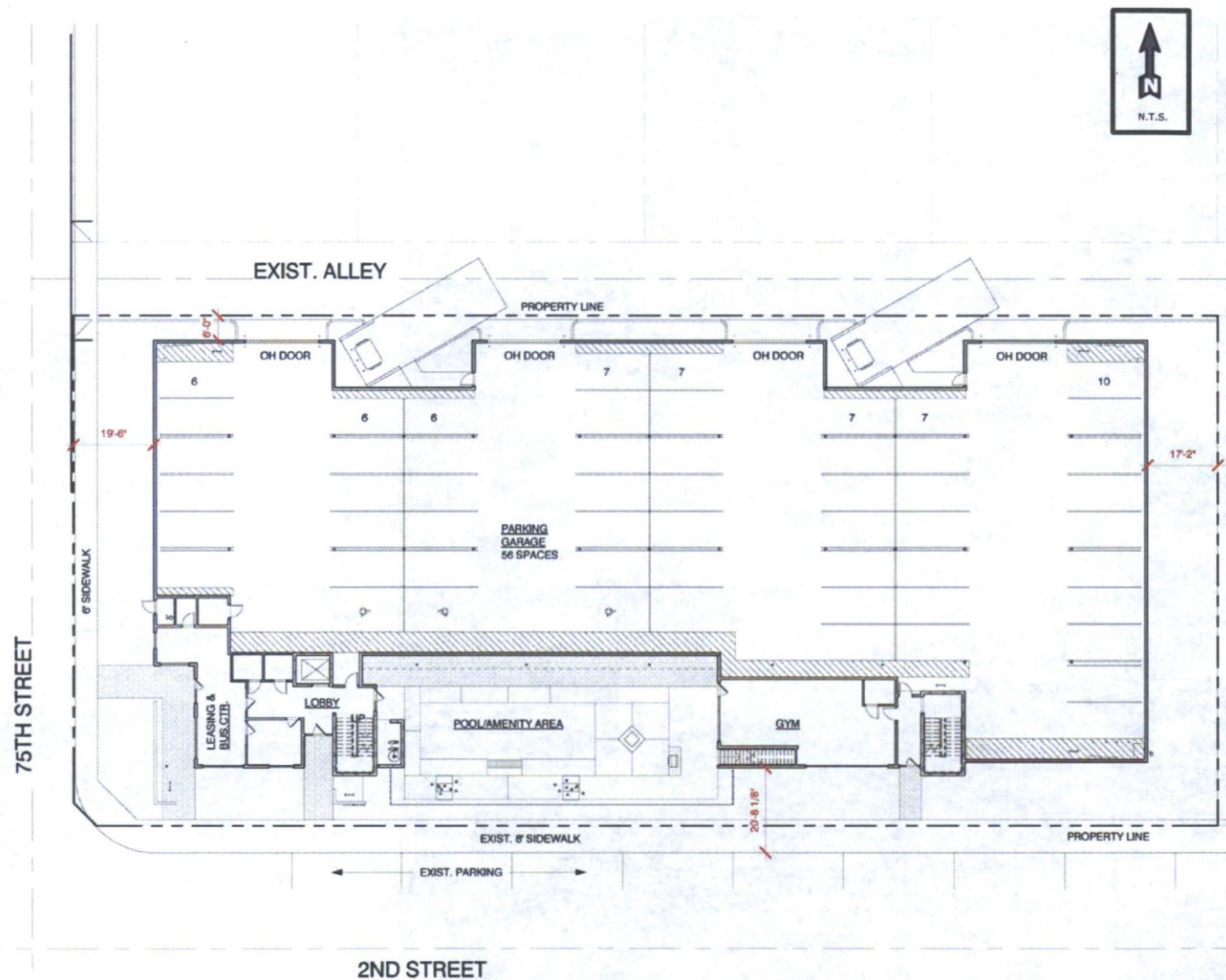
**Figure 2** provides the proposed site plan. The building will contain four stories of development. The ground floor will consist of parking, a lobby and amenities with the 39 dwelling units contained on the above three floors. All vehicular access will be provided by the existing alley along the northern edge of the site which currently connects to 75<sup>th</sup> Street on the west and Miller Road on the east. A total of four (4) separate driveways will be provided to the existing alley.





**Figure 1: Vicinity Map**





### Figure 2: Proposed Site Plan

**1130 N. Alma School Road, Suite 120, Mesa, AZ 85201**  
**O: 480.503.2250 F: 480.503.2258**



## **TRIP GENERATION – EXISTING DEVELOPMENT**

The estimated trip generation was determined through the procedures and data contained within *Trip Generation (10<sup>th</sup> Edition)*, published by the Institute of Transportation Engineers (ITE) in 2017. This document provides traffic volume data from existing developments throughout North America that can be utilized to estimate vehicle trips that might be generated from developments. The traffic data are provided for 175 different categories. The estimated traffic volume is dependent upon independent variables defined by the characteristics and size of each land use category. Trip generation was conducted for the existing and proposed developments as detailed below.

There is considerable data for office developments. Based on the size and tenants for the existing buildings, ITE Land Use Code 710: General Office Building contains the most appropriate data for Lots 12 & 13, and ITE Land Use Code 712: Small Office Building contains the most appropriate data for Lot 10 and Lot 11. The independent variable utilized to predict trips is 1,000 Square Feet Gross Floor Area. This independent variable has acceptable statistical attributes and therefore can be utilized. Volumes utilizing the independent variable were calculated for each time period. In some cases both equations and average rates are provided in *Trip Generation*. The largest volumes considering both calculation methods were utilized as the estimate for the generated traffic for the existing development. It should be noted that the average rate was utilized for ITE Land Use Code 710 for the morning peak hour since the equation produced an unrealistically high estimate for a building of this size.

**Appendix A** provides the complete results of these calculations. **Table 2** summarizes the total trip generation for the existing development during the day and peak hours of traffic for a typical weekday.

**Table 2: Trip Generation – Existing Development**

| Time Period                | Day       |           |            | AM Peak Hour |          |           | PM Peak Hour |           |           |
|----------------------------|-----------|-----------|------------|--------------|----------|-----------|--------------|-----------|-----------|
|                            | Enter     | Exit      | Total      | Enter        | Exit     | Total     | Enter        | Exit      | Total     |
| Lot 10 (ITE LUC 712)       | 12        | 11        | 23         | 2            | 1        | 3         | 1            | 2         | 3         |
| Lot 11 (ITE LUC 712)       | 9         | 8         | 17         | 2            | 0        | 2         | 1            | 2         | 3         |
| Lots 12 & 13 (ITE LUC 710) | 31        | 31        | 62         | 5            | 1        | 6         | 1            | 6         | 7         |
| <b>TOTAL</b>               | <b>52</b> | <b>50</b> | <b>102</b> | <b>9</b>     | <b>2</b> | <b>11</b> | <b>3</b>     | <b>10</b> | <b>13</b> |



### **TRIP GENERATION – PROPOSED DEVELOPMENT**

There is considerable data for multi-family residential developments. The proposed development is planned to have a four-story building. Therefore, ITE Land Use Code 221, Multifamily Housing (Mid-Rise), contains the most appropriate data for use in the trip generation analysis. Three independent variables are available for this land use category to predict trips: dwelling units, occupied dwelling units and residents. All three have adequate statistical attributes and therefore are acceptable for use. The number of residents is currently unknown. Therefore, volumes utilizing the number of dwelling units and occupied dwelling units were calculated for each time period. It was assumed that all dwelling units were occupied.

Both equations and average rates are provided in *Trip Generation*. Both methods were calculated separately for each time period. The largest volumes considering both independent variables and calculation methods were utilized as the estimate for the generated traffic for the proposed development.

**Appendix B** provides the complete results of these calculations. **Table 3** summarizes the trip generation for the proposed development during the day and peak hours of traffic for a typical weekday.

**Table 3: Trip Generation – Proposed Development**

| Time Period                | Day   |      |       | AM Peak Hour |      |       | PM Peak Hour |      |       |
|----------------------------|-------|------|-------|--------------|------|-------|--------------|------|-------|
|                            | Enter | Exit | Total | Enter        | Exit | Total | Enter        | Exit | Total |
| Multi-Family (ITE LUC 221) | 106   | 106  | 212   | 4            | 12   | 16    | 11           | 7    | 18    |



### **TRIP GENERATION COMPARISON**

**Table 4** provides a comparison of the total trip generation for the existing and proposed development during the day and peak hours of traffic for a typical weekday.

**Table 4: Trip Generation Comparison**

| TIME PERIOD         | PREVIOUS | PROPOSED | COMPARISON |
|---------------------|----------|----------|------------|
| <b>WEEKDAY</b>      |          |          |            |
| Total               | 102      | 212      | 110        |
| Enter               | 52       | 106      | 54         |
| Exit                | 50       | 106      | 56         |
| <b>AM PEAK HOUR</b> |          |          |            |
| Total               | 11       | 16       | 5          |
| Enter               | 9        | 4        | -5         |
| Exit                | 2        | 12       | 10         |
| <b>PM PEAK HOUR</b> |          |          |            |
| Total               | 13       | 18       | 5          |
| Enter               | 3        | 11       | 8          |
| Exit                | 10       | 7        | -3         |

The proposed multi-family development is anticipated to generate more daily traffic, morning exiting traffic and evening entering traffic than the existing development during the typical weekday. It is also anticipated to generate less morning entering traffic and evening exiting traffic than the existing development during the typical weekday.

Please contact me at (480) 503-2250, extension 1125 if you have any questions or would like to discuss this memorandum.

#### **ATTACHMENTS:**

- A. Existing Development Trip Generation
- B. Proposed Development Trip Generation



Expires: 6/30/2020



**ATTACHMENT A**  
**EXISTING DEVELOPMENT TRIP GENERATION**



|                                       |                             |           |           |           |
|---------------------------------------|-----------------------------|-----------|-----------|-----------|
| PROJECT                               | 75 ON 2ND                   |           |           |           |
| PARCEL                                | EXISTING LOT 10             |           |           |           |
| ITE LAND USE CATEGORY AND CODE        | SMALL OFFICE BUILDING (712) |           |           |           |
| INDEPENDENT VARIABLE                  | 1,000 SQUARE FEET GFA       |           |           |           |
| SIZE                                  | 1.424                       |           |           |           |
|                                       |                             | TRIPS     |           |           |
|                                       |                             | ENTERING  | EXITING   | TOTAL     |
| <b>WEEKDAY DAILY</b>                  |                             | 50%       | 50%       |           |
| NUMBER OF STUDIES                     | 17                          |           |           |           |
| AVERAGE SIZE                          | 2                           |           |           |           |
| MINIMUM RATE                          | 4.44                        | 3         | 3         | 6         |
| AVERAGE RATE                          | 16.19                       | 12        | 11        | 23        |
| MAXIMUM RATE                          | 50.91                       | 36        | 36        | 72        |
| STANDARD DEVIATION                    | 11.03                       |           |           |           |
| EQUATION: NOT PROVIDED                | NA                          | NA        | NA        | NA        |
| <b>LARGEST OF AVERAGE OR EQUATION</b> |                             | <b>12</b> | <b>11</b> | <b>23</b> |
| <b>AM PEAK HOUR ADJACENT STREET</b>   |                             | 83%       | 17%       |           |
| NUMBER OF STUDIES                     | 17                          |           |           |           |
| AVERAGE SIZE                          | 2                           |           |           |           |
| MINIMUM RATE                          | 0.78                        | 1         | 0         | 1         |
| AVERAGE RATE                          | 1.92                        | 2         | 1         | 3         |
| MAXIMUM RATE                          | 4.12                        | 5         | 1         | 6         |
| STANDARD DEVIATION                    | 0.97                        |           |           |           |
| EQUATION: NOT PROVIDED                | NA                          | NA        | NA        | NA        |
| <b>LARGEST OF AVERAGE OR EQUATION</b> |                             | <b>2</b>  | <b>1</b>  | <b>3</b>  |
| <b>AM PEAK HOUR GENERATOR</b>         |                             | 60%       | 40%       |           |
| NUMBER OF STUDIES                     | 18                          |           |           |           |
| AVERAGE SIZE                          | 2                           |           |           |           |
| MINIMUM RATE                          | 1.08                        | 1         | 1         | 2         |
| AVERAGE RATE                          | 3.26                        | 3         | 2         | 5         |
| MAXIMUM RATE                          | 7.83                        | 7         | 4         | 11        |
| STANDARD DEVIATION                    | 1.54                        |           |           |           |
| EQUATION: NOT PROVIDED                | NA                          | NA        | NA        | NA        |
| <b>LARGEST OF AVERAGE OR EQUATION</b> |                             | <b>3</b>  | <b>2</b>  | <b>5</b>  |
| <b>PM PEAK HOUR ADJACENT STREET</b>   |                             | 32%       | 68%       |           |
| NUMBER OF STUDIES                     | 17                          |           |           |           |
| AVERAGE SIZE                          | 3                           |           |           |           |
| MINIMUM RATE                          | 0.56                        | 0         | 1         | 1         |
| AVERAGE RATE                          | 2.45                        | 1         | 2         | 3         |
| MAXIMUM RATE                          | 5.50                        | 3         | 5         | 8         |
| STANDARD DEVIATION                    | 1.38                        |           |           |           |
| EQUATION: NOT PROVIDED                | NA                          | NA        | NA        | NA        |
| <b>LARGEST OF AVERAGE OR EQUATION</b> |                             | <b>1</b>  | <b>2</b>  | <b>3</b>  |
| <b>PM PEAK HOUR GENERATOR</b>         |                             | 46%       | 54%       |           |
| NUMBER OF STUDIES                     | 18                          |           |           |           |
| AVERAGE SIZE                          | 2                           |           |           |           |
| MINIMUM RATE                          | 0.56                        | 0         | 1         | 1         |
| AVERAGE RATE                          | 3.73                        | 2         | 3         | 5         |
| MAXIMUM RATE                          | 9.14                        | 6         | 7         | 13        |
| STANDARD DEVIATION                    | 2.37                        |           |           |           |
| EQUATION: NOT PROVIDED                | NA                          | NA        | NA        | NA        |
| <b>LARGEST OF AVERAGE OR EQUATION</b> |                             | <b>2</b>  | <b>3</b>  | <b>NA</b> |



|                                       |                             |          |         |     |
|---------------------------------------|-----------------------------|----------|---------|-----|
| PROJECT                               | 75 ON 2ND                   |          |         |     |
| PARCEL                                | EXISTING LOT 10             |          |         |     |
| ITE LAND USE CATEGORY AND CODE        | SMALL OFFICE BUILDING (712) |          |         |     |
| INDEPENDENT VARIABLE                  | 1,000 SQUARE FEET GFA       |          |         |     |
| SIZE                                  | 1.424                       |          |         |     |
|                                       | RATE                        | TRIPS    |         |     |
|                                       |                             | ENTERING | EXITING | SUM |
| <b>SATURDAY DAILY</b>                 |                             | NA       | NA      |     |
| NUMBER OF STUDIES                     | NA                          |          |         |     |
| AVERAGE SIZE                          | NA                          |          |         |     |
| MINIMUM RATE                          | NA                          | NA       | NA      | NA  |
| AVERAGE RATE                          | NA                          | NA       | NA      | NA  |
| MAXIMUM RATE                          | NA                          | NA       | NA      | NA  |
| STANDARD DEVIATION                    | NA                          |          |         |     |
| EQUATION: NOT PROVIDED                | NA                          | NA       | NA      | NA  |
| <b>LARGEST OF AVERAGE OR EQUATION</b> |                             | NA       | NA      | NA  |
| <b>PEAK HOUR GENERATOR</b>            |                             | 50%      | 50%     |     |
| NUMBER OF STUDIES                     | 1                           |          |         |     |
| AVERAGE SIZE                          | 5                           |          |         |     |
| MINIMUM RATE                          | 0.40                        | 1        | 0       | 1   |
| AVERAGE RATE                          | 0.40                        | 1        | 0       | 1   |
| MAXIMUM RATE                          | 0.40                        | 1        | 0       | 1   |
| STANDARD DEVIATION                    | 1.29                        |          |         |     |
| EQUATION: NOT PROVIDED                | NA                          | NA       | NA      | NA  |
| <b>LARGEST OF AVERAGE OR EQUATION</b> |                             | 1        | 0       | 1   |
| <b>SUNDAY DAILY</b>                   |                             | NA       | NA      |     |
| NUMBER OF STUDIES                     | NA                          |          |         |     |
| AVERAGE SIZE                          | NA                          |          |         |     |
| MINIMUM RATE                          | NA                          | NA       | NA      | NA  |
| AVERAGE RATE                          | NA                          | NA       | NA      | NA  |
| MAXIMUM RATE                          | NA                          | NA       | NA      | NA  |
| STANDARD DEVIATION                    | NA                          |          |         |     |
| EQUATION: NOT PROVIDED                | NA                          | NA       | NA      | NA  |
| <b>LARGEST OF AVERAGE OR EQUATION</b> |                             | NA       | NA      | NA  |
| <b>PEAK HOUR GENERATOR</b>            |                             | NA       | NA      |     |
| NUMBER OF STUDIES                     | NA                          |          |         |     |
| AVERAGE SIZE                          | NA                          |          |         |     |
| MINIMUM RATE                          | NA                          | NA       | NA      | NA  |
| AVERAGE RATE                          | NA                          | NA       | NA      | NA  |
| MAXIMUM RATE                          | NA                          | NA       | NA      | NA  |
| STANDARD DEVIATION                    | NA                          |          |         |     |
| EQUATION: NOT PROVIDED                | NA                          | NA       | NA      | NA  |
| <b>LARGEST OF AVERAGE OR EQUATION</b> |                             | NA       | NA      | NA  |



|                                       |                             |          |          |           |
|---------------------------------------|-----------------------------|----------|----------|-----------|
| PROJECT                               | 75 ON 2ND                   |          |          |           |
| PARCEL                                | EXISTING LOT 11             |          |          |           |
| ITE LAND USE CATEGORY AND CODE        | SMALL OFFICE BUILDING (712) |          |          |           |
| INDEPENDENT VARIABLE                  | 1,000 SQUARE FEET GFA       |          |          |           |
| SIZE                                  | 1.065                       |          |          |           |
|                                       |                             | TRIPS    |          |           |
|                                       |                             | ENTERING | EXITING  | TOTAL     |
| <b>WEEKDAY DAILY</b>                  |                             | 50%      | 50%      |           |
| NUMBER OF STUDIES                     | 17                          |          |          |           |
| AVERAGE SIZE                          | 2                           |          |          |           |
| MINIMUM RATE                          | 4.44                        | 3        | 2        | 5         |
| AVERAGE RATE                          | 16.19                       | 9        | 8        | 17        |
| MAXIMUM RATE                          | 50.91                       | 27       | 27       | 54        |
| STANDARD DEVIATION                    | 11.03                       |          |          |           |
| EQUATION: NOT PROVIDED                | NA                          | NA       | NA       | NA        |
| <b>LARGEST OF AVERAGE OR EQUATION</b> |                             | <b>9</b> | <b>8</b> | <b>17</b> |
| <b>AM PEAK HOUR ADJACENT STREET</b>   |                             | 83%      | 17%      |           |
| NUMBER OF STUDIES                     | 17                          |          |          |           |
| AVERAGE SIZE                          | 2                           |          |          |           |
| MINIMUM RATE                          | 0.78                        | 1        | 0        | 1         |
| AVERAGE RATE                          | 1.92                        | 2        | 0        | 2         |
| MAXIMUM RATE                          | 4.12                        | 3        | 1        | 4         |
| STANDARD DEVIATION                    | 0.97                        |          |          |           |
| EQUATION: NOT PROVIDED                | NA                          | NA       | NA       | NA        |
| <b>LARGEST OF AVERAGE OR EQUATION</b> |                             | <b>2</b> | <b>0</b> | <b>2</b>  |
| <b>AM PEAK HOUR GENERATOR</b>         |                             | 60%      | 40%      |           |
| NUMBER OF STUDIES                     | 18                          |          |          |           |
| AVERAGE SIZE                          | 2                           |          |          |           |
| MINIMUM RATE                          | 1.08                        | 1        | 0        | 1         |
| AVERAGE RATE                          | 3.26                        | 2        | 1        | 3         |
| MAXIMUM RATE                          | 7.83                        | 5        | 3        | 8         |
| STANDARD DEVIATION                    | 1.54                        |          |          |           |
| EQUATION: NOT PROVIDED                | NA                          | NA       | NA       | NA        |
| <b>LARGEST OF AVERAGE OR EQUATION</b> |                             | <b>2</b> | <b>1</b> | <b>3</b>  |
| <b>PM PEAK HOUR ADJACENT STREET</b>   |                             | 32%      | 68%      |           |
| NUMBER OF STUDIES                     | 17                          |          |          |           |
| AVERAGE SIZE                          | 3                           |          |          |           |
| MINIMUM RATE                          | 0.56                        | 0        | 1        | 1         |
| AVERAGE RATE                          | 2.45                        | 1        | 2        | 3         |
| MAXIMUM RATE                          | 5.50                        | 2        | 4        | 6         |
| STANDARD DEVIATION                    | 1.38                        |          |          |           |
| EQUATION: NOT PROVIDED                | NA                          | NA       | NA       | NA        |
| <b>LARGEST OF AVERAGE OR EQUATION</b> |                             | <b>1</b> | <b>2</b> | <b>3</b>  |
| <b>PM PEAK HOUR GENERATOR</b>         |                             | 46%      | 54%      |           |
| NUMBER OF STUDIES                     | 18                          |          |          |           |
| AVERAGE SIZE                          | 2                           |          |          |           |
| MINIMUM RATE                          | 0.56                        | 0        | 1        | 1         |
| AVERAGE RATE                          | 3.73                        | 2        | 2        | 4         |
| MAXIMUM RATE                          | 9.14                        | 5        | 5        | 10        |
| STANDARD DEVIATION                    | 2.37                        |          |          |           |
| EQUATION: NOT PROVIDED                | NA                          | NA       | NA       | NA        |
| <b>LARGEST OF AVERAGE OR EQUATION</b> |                             | <b>2</b> | <b>2</b> | <b>NA</b> |



|                                       |                             |          |         |     |
|---------------------------------------|-----------------------------|----------|---------|-----|
| PROJECT                               | 75 ON 2ND                   |          |         |     |
| PARCEL                                | EXISTING LOT 11             |          |         |     |
| ITE LAND USE CATEGORY AND CODE        | SMALL OFFICE BUILDING (712) |          |         |     |
| INDEPENDENT VARIABLE                  | 1,000 SQUARE FEET GFA       |          |         |     |
| SIZE                                  | 1.065                       |          |         |     |
|                                       | RATE                        | TRIPS    |         |     |
|                                       |                             | ENTERING | EXITING | SUM |
| <b>SATURDAY DAILY</b>                 |                             | NA       | NA      |     |
| NUMBER OF STUDIES                     | NA                          |          |         |     |
| AVERAGE SIZE                          | NA                          |          |         |     |
| MINIMUM RATE                          | NA                          | NA       | NA      | NA  |
| AVERAGE RATE                          | NA                          | NA       | NA      | NA  |
| MAXIMUM RATE                          | NA                          | NA       | NA      | NA  |
| STANDARD DEVIATION                    | NA                          |          |         |     |
| EQUATION: NOT PROVIDED                | NA                          | NA       | NA      | NA  |
| <b>LARGEST OF AVERAGE OR EQUATION</b> |                             | NA       | NA      | NA  |
| <b>PEAK HOUR GENERATOR</b>            |                             | 50%      | 50%     |     |
| NUMBER OF STUDIES                     | 1                           |          |         |     |
| AVERAGE SIZE                          | 5                           |          |         |     |
| MINIMUM RATE                          | 0.40                        | 0        | 0       | 0   |
| AVERAGE RATE                          | 0.40                        | 0        | 0       | 0   |
| MAXIMUM RATE                          | 0.40                        | 0        | 0       | 0   |
| STANDARD DEVIATION                    | 1.29                        |          |         |     |
| EQUATION: NOT PROVIDED                | NA                          | NA       | NA      | NA  |
| <b>LARGEST OF AVERAGE OR EQUATION</b> |                             | 0        | 0       | 0   |
| <b>SUNDAY DAILY</b>                   |                             | NA       | NA      |     |
| NUMBER OF STUDIES                     | NA                          |          |         |     |
| AVERAGE SIZE                          | NA                          |          |         |     |
| MINIMUM RATE                          | NA                          | NA       | NA      | NA  |
| AVERAGE RATE                          | NA                          | NA       | NA      | NA  |
| MAXIMUM RATE                          | NA                          | NA       | NA      | NA  |
| STANDARD DEVIATION                    | NA                          |          |         |     |
| EQUATION: NOT PROVIDED                | NA                          | NA       | NA      | NA  |
| <b>LARGEST OF AVERAGE OR EQUATION</b> |                             | NA       | NA      | NA  |
| <b>PEAK HOUR GENERATOR</b>            |                             | NA       | NA      |     |
| NUMBER OF STUDIES                     | NA                          |          |         |     |
| AVERAGE SIZE                          | NA                          |          |         |     |
| MINIMUM RATE                          | NA                          | NA       | NA      | NA  |
| AVERAGE RATE                          | NA                          | NA       | NA      | NA  |
| MAXIMUM RATE                          | NA                          | NA       | NA      | NA  |
| STANDARD DEVIATION                    | NA                          |          |         |     |
| EQUATION: NOT PROVIDED                | NA                          | NA       | NA      | NA  |
| <b>LARGEST OF AVERAGE OR EQUATION</b> |                             | NA       | NA      | NA  |



|   |                               |           |           |           |
|---|-------------------------------|-----------|-----------|-----------|
| PROJECT                                 | 75 ON 2ND                     |           |           |           |
| PARCEL                                  | EXISTING LOTS 12 & 13         |           |           |           |
| ITE LAND USE CATEGORY AND CODE          | GENERAL OFFICE BUILDING (710) |           |           |           |
| INDEPENDENT VARIABLE                    | 1,000 SQUARE FEET GFA         |           |           |           |
| SIZE                                    | 5.348                         |           |           |           |
|   |                               | TRIPS     |           |           |
|   |                               | ENTERING  | EXITING   | TOTAL     |
| <b>WEEKDAY DAILY</b>                    |                               | 50%       | 50%       |           |
| NUMBER OF STUDIES                       | 66                            |           |           |           |
| AVERAGE SIZE                            | 171                           |           |           |           |
| MINIMUM RATE                            | 2.71                          | 7         | 7         | 14        |
| AVERAGE RATE                            | 9.74                          | 26        | 26        | 52        |
| MAXIMUM RATE                            | 27.56                         | 74        | 73        | 147       |
| STANDARD DEVIATION                      | 5.15                          |           |           |           |
| EQUATION: $LN(T) = 0.97 * LN(X) + 2.50$ | $R^2 = 0.83$                  | 31        | 31        | 62        |
| <b>LARGEST OF AVERAGE OR EQUATION</b>   |                               | <b>31</b> | <b>31</b> | <b>62</b> |
| <b>AM PEAK HOUR ADJACENT STREET</b>     |                               | 86%       | 14%       |           |
| NUMBER OF STUDIES                       | 35                            |           |           |           |
| AVERAGE SIZE                            | 117                           |           |           |           |
| MINIMUM RATE                            | 0.37                          | 2         | 0         | 2         |
| AVERAGE RATE                            | 1.16                          | 5         | 1         | 6         |
| MAXIMUM RATE                            | 4.23                          | 20        | 3         | 23        |
| STANDARD DEVIATION                      | 0.47                          |           |           |           |
| EQUATION: $T = 0.94 * (X) + 26.49$      | $R^2 = 0.85$                  | 28        | 4         | 32        |
| <b>LARGEST OF AVERAGE OR EQUATION</b>   |                               | <b>28</b> | <b>4</b>  | <b>32</b> |
| <b>AM PEAK HOUR GENERATOR</b>           |                               | 88%       | 12%       |           |
| NUMBER OF STUDIES                       | 228                           |           |           |           |
| AVERAGE SIZE                            | 209                           |           |           |           |
| MINIMUM RATE                            | 0.57                          | 3         | 0         | 3         |
| AVERAGE RATE                            | 1.47                          | 7         | 1         | 8         |
| MAXIMUM RATE                            | 4.93                          | 23        | 3         | 26        |
| STANDARD DEVIATION                      | 0.60                          |           |           |           |
| EQUATION: $LN(T) = 0.88 * LN(X) + 1.06$ | $R^2 = 0.84$                  | 11        | 2         | 13        |
| <b>LARGEST OF AVERAGE OR EQUATION</b>   |                               | <b>11</b> | <b>2</b>  | <b>13</b> |
| <b>PM PEAK HOUR ADJACENT STREET</b>     |                               | 16%       | 84%       |           |
| NUMBER OF STUDIES                       | 32                            |           |           |           |
| AVERAGE SIZE                            | 114                           |           |           |           |
| MINIMUM RATE                            | 0.47                          | 0         | 3         | 3         |
| AVERAGE RATE                            | 1.15                          | 1         | 5         | 6         |
| MAXIMUM RATE                            | 3.23                          | 3         | 14        | 17        |
| STANDARD DEVIATION                      | 0.42                          |           |           |           |
| EQUATION: $LN(T) = 0.95 * LN(X) + 0.36$ | $R^2 = 0.88$                  | 1         | 6         | 7         |
| <b>LARGEST OF AVERAGE OR EQUATION</b>   |                               | <b>1</b>  | <b>6</b>  | <b>7</b>  |
| <b>PM PEAK HOUR GENERATOR</b>           |                               | 18%       | 82%       |           |
| NUMBER OF STUDIES                       | 243                           |           |           |           |
| AVERAGE SIZE                            | 205                           |           |           |           |
| MINIMUM RATE                            | 0.49                          | 1         | 2         | 3         |
| AVERAGE RATE                            | 1.42                          | 1         | 7         | 8         |
| MAXIMUM RATE                            | 6.20                          | 6         | 27        | 33        |
| STANDARD DEVIATION                      | 0.61                          |           |           |           |
| EQUATION: $T = 1.10 * (X) + 65.39$      | $R^2 = 0.82$                  | 13        | 58        | 71        |
| <b>LARGEST OF AVERAGE OR EQUATION</b>   |                               | <b>13</b> | <b>58</b> | <b>NA</b> |



|                                       |                               |          |          |           |
|---------------------------------------|-------------------------------|----------|----------|-----------|
| PROJECT                               | 75 ON 2ND                     |          |          |           |
| PARCEL                                | EXISTING LOTS 12 & 13         |          |          |           |
| ITE LAND USE CATEGORY AND CODE        | GENERAL OFFICE BUILDING (710) |          |          |           |
| INDEPENDENT VARIABLE                  | 1,000 SQUARE FEET GFA         |          |          |           |
| SIZE                                  | 5.348                         |          |          |           |
|                                       | RATE                          | TRIPS    |          |           |
|                                       |                               | ENTERING | EXITING  | SUM       |
| <b>SATURDAY DAILY</b>                 |                               | 50%      | 50%      |           |
| NUMBER OF STUDIES                     | 5                             |          |          |           |
| AVERAGE SIZE                          | 94                            |          |          |           |
| MINIMUM RATE                          | 1.24                          | 4        | 3        | 7         |
| AVERAGE RATE                          | 2.21                          | 6        | 6        | 12        |
| MAXIMUM RATE                          | 7.46                          | 20       | 20       | 40        |
| STANDARD DEVIATION                    | 1.70                          |          |          |           |
| EQUATION: NOT PROVIDED                | NA                            | NA       | NA       | NA        |
| <b>LARGEST OF AVERAGE OR EQUATION</b> |                               | <b>6</b> | <b>6</b> | <b>12</b> |
| <b>PEAK HOUR GENERATOR</b>            |                               | 54%      | 46%      |           |
| NUMBER OF STUDIES                     | 3                             |          |          |           |
| AVERAGE SIZE                          | 82                            |          |          |           |
| MINIMUM RATE                          | 0.30                          | 1        | 1        | 2         |
| AVERAGE RATE                          | 0.53                          | 2        | 1        | 3         |
| MAXIMUM RATE                          | 1.57                          | 4        | 4        | 8         |
| STANDARD DEVIATION                    | 1.29                          |          |          |           |
| EQUATION: NOT PROVIDED                | NA                            | NA       | NA       | NA        |
| <b>LARGEST OF AVERAGE OR EQUATION</b> |                               | <b>2</b> | <b>1</b> | <b>3</b>  |
| <b>SUNDAY DAILY</b>                   |                               | 50%      | 50%      |           |
| NUMBER OF STUDIES                     | 5                             |          |          |           |
| AVERAGE SIZE                          | 94                            |          |          |           |
| MINIMUM RATE                          | 0.19                          | 1        | 0        | 1         |
| AVERAGE RATE                          | 0.70                          | 2        | 2        | 4         |
| MAXIMUM RATE                          | 3.05                          | 8        | 8        | 16        |
| STANDARD DEVIATION                    | 0.77                          |          |          |           |
| EQUATION: NOT PROVIDED                | NA                            | NA       | NA       | NA        |
| <b>LARGEST OF AVERAGE OR EQUATION</b> |                               | <b>2</b> | <b>2</b> | <b>4</b>  |
| <b>PEAK HOUR GENERATOR</b>            |                               | 58%      | 42%      |           |
| NUMBER OF STUDIES                     | 3                             |          |          |           |
| AVERAGE SIZE                          | 82                            |          |          |           |
| MINIMUM RATE                          | 0.11                          | 1        | 0        | 1         |
| AVERAGE RATE                          | 0.21                          | 1        | 0        | 1         |
| MAXIMUM RATE                          | 0.67                          | 2        | 2        | 4         |
| STANDARD DEVIATION                    | 0.52                          |          |          |           |
| EQUATION: NOT PROVIDED                | NA                            | NA       | NA       | NA        |
| <b>LARGEST OF AVERAGE OR EQUATION</b> |                               | <b>1</b> | <b>0</b> | <b>1</b>  |



**ATTACHMENT B**  
**PROPOSED DEVELOPMENT TRIP GENERATION**



| PROJECT                               | 75 ON 2ND                                       |            |            |            |
|---------------------------------------|---|------------|------------|------------|
| PARCEL                                | PROPOSED DEVELOPMENT                            |            |            |            |
| ITE LAND USE CATEGORY AND CODE        | MULTIFAMILY HOUSING (MID-RISE) (221)            |            |            |            |
| INDEPENDENT VARIABLE                  | MAX OF DWELLING UNITS & OCCUPIED DWELLING UNITS |            |            |            |
| SIZE                                  | 39 DWELLING UNITS & 39 OCCUPIED DWELLING UNITS  |            |            |            |
|                                       |   | TRIPS      |            |            |
|                                       |   | ENTERING   | EXITING    | TOTAL      |
| <b>WEEKDAY DAILY</b>                  |   |            |            |            |
| MINIMUM RATE                          |   | 58         | 57         | 115        |
| AVERAGE RATE                          |   | 106        | 106        | 212        |
| MAXIMUM RATE                          |   | 244        | 244        | 488        |
| STANDARD DEVIATION                    |   |            |            |            |
| EQUATION                              |   | 106        | 105        | 211        |
| <b>LARGEST OF AVERAGE OR EQUATION</b> |   | <b>106</b> | <b>106</b> | <b>212</b> |
| <b>AM PEAK HOUR ADJACENT STREET</b>   |   |            |            |            |
| MINIMUM RATE                          |   | 4          | 10         | 14         |
| AVERAGE RATE                          |   | 4          | 12         | 16         |
| MAXIMUM RATE                          |   | 16         | 47         | 63         |
| STANDARD DEVIATION                    |   |            |            |            |
| EQUATION                              |   | 4          | 10         | 14         |
| <b>LARGEST OF AVERAGE OR EQUATION</b> |   | <b>4</b>   | <b>12</b>  | <b>16</b>  |
| <b>AM PEAK HOUR GENERATOR</b>         |   |            |            |            |
| MINIMUM RATE                          |   | 4          | 10         | 14         |
| AVERAGE RATE                          |   | 4          | 12         | 16         |
| MAXIMUM RATE                          |   | 8          | 22         | 30         |
| STANDARD DEVIATION                    |   |            |            |            |
| EQUATION                              |   | 4          | 12         | 16         |
| <b>LARGEST OF AVERAGE OR EQUATION</b> |   | <b>4</b>   | <b>12</b>  | <b>16</b>  |
| <b>PM PEAK HOUR ADJACENT STREET</b>   |   |            |            |            |
| MINIMUM RATE                          |   | 7          | 4          | 11         |
| AVERAGE RATE                          |   | 10         | 7          | 17         |
| MAXIMUM RATE                          |   | 26         | 17         | 43         |
| STANDARD DEVIATION                    |   |            |            |            |
| EQUATION                              |   | 11         | 7          | 18         |
| <b>LARGEST OF AVERAGE OR EQUATION</b> |   | <b>11</b>  | <b>7</b>   | <b>18</b>  |
| <b>PM PEAK HOUR GENERATOR</b>         |   |            |            |            |
| MINIMUM RATE                          |   | 7          | 4          | 11         |
| AVERAGE RATE                          |   | 11         | 8          | 19         |
| MAXIMUM RATE                          |   | 29         | 20         | 49         |
| STANDARD DEVIATION                    |   |            |            |            |
| EQUATION                              |   | 12         | 8          | 20         |
| <b>LARGEST OF AVERAGE OR EQUATION</b> |   | <b>12</b>  | <b>8</b>   | <b>20</b>  |



|                                       |   |            |            |            |
|---------------------------------------|---|------------|------------|------------|
| PROJECT                               | 75 ON 2ND                                       |            |            |            |
| PARCEL                                | PROPOSED DEVELOPMENT                            |            |            |            |
| ITE LAND USE CATEGORY AND CODE        | MULTIFAMILY HOUSING (MID-RISE) (221)            |            |            |            |
| INDEPENDENT VARIABLE                  | MAX OF DWELLING UNITS & OCCUPIED DWELLING UNITS |            |            |            |
| SIZE                                  | 39 DWELLING UNITS & 39 OCCUPIED DWELLING UNITS  |            |            |            |
|                                       | RATE  | TRIPS      |            |            |
|                                       |   | ENTERING   | EXITING    | SUM        |
| <b>SATURDAY DAILY</b>                 |   |            |            |            |
| MINIMUM RATE                          |   | 83         | 83         | 166        |
| AVERAGE RATE                          |   | 96         | 95         | 191        |
| MAXIMUM RATE                          |   | 166        | 166        | 332        |
| STANDARD DEVIATION                    |   |            |            |            |
| EQUATION                              |   | 268        | 268        | 536        |
| <b>LARGEST OF AVERAGE OR EQUATION</b> |   | <b>268</b> | <b>268</b> | <b>536</b> |
| <b>PEAK HOUR GENERATOR</b>            |   |            |            |            |
| MINIMUM RATE                          |   | 7          | 7          | 14         |
| AVERAGE RATE                          |   | 8          | 9          | 17         |
| MAXIMUM RATE                          |   | 14         | 14         | 28         |
| STANDARD DEVIATION                    |   |            |            |            |
| EQUATION                              |   | 11         | 12         | 23         |
| <b>LARGEST OF AVERAGE OR EQUATION</b> |   | <b>11</b>  | <b>12</b>  | <b>23</b>  |
| <b>SUNDAY DAILY</b>                   |   |            |            |            |
| MINIMUM RATE                          |   | 63         | 63         | 126        |
| AVERAGE RATE                          |   | 80         | 80         | 160        |
| MAXIMUM RATE                          |   | 164        | 164        | 328        |
| STANDARD DEVIATION                    |   |            |            |            |
| EQUATION                              |   | NA         | NA         | 0          |
| <b>LARGEST OF AVERAGE OR EQUATION</b> |   | <b>80</b>  | <b>80</b>  | <b>160</b> |
| <b>PEAK HOUR GENERATOR</b>            |   |            |            |            |
| MINIMUM RATE                          |   | 7          | 4          | 11         |
| AVERAGE RATE                          |   | 9          | 6          | 15         |
| MAXIMUM RATE                          |   | 26         | 16         | 42         |
| STANDARD DEVIATION                    |   |            |            |            |
| EQUATION                              |   | NA         | NA         | 0          |
| <b>LARGEST OF AVERAGE OR EQUATION</b> |   | <b>9</b>   | <b>6</b>   | <b>15</b>  |



|   |                                      |            |            |            |
|---|--------------------------------------|------------|------------|------------|
| PROJECT                                 | 75 ON 2ND                            |            |            |            |
| PARCEL                                  | PROPOSED DEVELOPMENT                 |            |            |            |
| ITE LAND USE CATEGORY AND CODE          | MULTIFAMILY HOUSING (MID-RISE) (221) |            |            |            |
| INDEPENDENT VARIABLE                    | DWELLING UNITS                       |            |            |            |
| SIZE                                    | 39                                   |            |            |            |
|   |                                      | TRIPS      |            |            |
|   |                                      | ENTERING   | EXITING    | TOTAL      |
| <b>WEEKDAY DAILY</b>                    |                                      | 50%        | 50%        |            |
| NUMBER OF STUDIES                       | 27                                   |            |            |            |
| AVERAGE SIZE                            | 205                                  |            |            |            |
| MINIMUM RATE                            | 1.27                                 | 25         | 25         | 50         |
| AVERAGE RATE                            | 5.44                                 | 106        | 106        | 212        |
| MAXIMUM RATE                            | 12.50                                | 244        | 244        | 488        |
| STANDARD DEVIATION                      | 2.03                                 |            |            |            |
| EQUATION: $T = 5.45 * (X) - 1.75$       | $R^2 = 0.77$                         | 106        | 105        | 211        |
| <b>LARGEST OF AVERAGE OR EQUATION</b>   |                                      | <b>106</b> | <b>106</b> | <b>212</b> |
| <b>AM PEAK HOUR ADJACENT STREET</b>     |                                      | 26%        | 74%        |            |
| NUMBER OF STUDIES                       | 53                                   |            |            |            |
| AVERAGE SIZE                            | 207                                  |            |            |            |
| MINIMUM RATE                            | 0.06                                 | 1          | 1          | 2          |
| AVERAGE RATE                            | 0.36                                 | 4          | 10         | 14         |
| MAXIMUM RATE                            | 1.61                                 | 16         | 47         | 63         |
| STANDARD DEVIATION                      | 0.19                                 |            |            |            |
| EQUATION: $LN(T) = 0.98 * LN(X) - 0.98$ | $R^2 = 0.67$                         | 4          | 10         | 14         |
| <b>LARGEST OF AVERAGE OR EQUATION</b>   |                                      | <b>4</b>   | <b>10</b>  | <b>14</b>  |
| <b>AM PEAK HOUR GENERATOR</b>           |                                      | 27%        | 73%        |            |
| NUMBER OF STUDIES                       | 48                                   |            |            |            |
| AVERAGE SIZE                            | 225                                  |            |            |            |
| MINIMUM RATE                            | 0.06                                 | 1          | 1          | 2          |
| AVERAGE RATE                            | 0.32                                 | 3          | 9          | 12         |
| MAXIMUM RATE                            | 0.77                                 | 8          | 22         | 30         |
| STANDARD DEVIATION                      | 0.17                                 |            |            |            |
| EQUATION: $LN(T) = 0.83 * LN(X) - 0.27$ | $R^2 = 0.69$                         | 4          | 12         | 16         |
| <b>LARGEST OF AVERAGE OR EQUATION</b>   |                                      | <b>4</b>   | <b>12</b>  | <b>16</b>  |
| <b>PM PEAK HOUR ADJACENT STREET</b>     |                                      | 61%        | 39%        |            |
| NUMBER OF STUDIES                       | 60                                   |            |            |            |
| AVERAGE SIZE                            | 208                                  |            |            |            |
| MINIMUM RATE                            | 0.15                                 | 4          | 2          | 6          |
| AVERAGE RATE                            | 0.44                                 | 10         | 7          | 17         |
| MAXIMUM RATE                            | 1.11                                 | 26         | 17         | 43         |
| STANDARD DEVIATION                      | 0.19                                 |            |            |            |
| EQUATION: $LN(T) = 0.96 * LN(X) - 0.63$ | $R^2 = 0.72$                         | 11         | 7          | 18         |
| <b>LARGEST OF AVERAGE OR EQUATION</b>   |                                      | <b>11</b>  | <b>7</b>   | <b>18</b>  |
| <b>PM PEAK HOUR GENERATOR</b>           |                                      | 60%        | 40%        |            |
| NUMBER OF STUDIES                       | 47                                   |            |            |            |
| AVERAGE SIZE                            | 211                                  |            |            |            |
| MINIMUM RATE                            | 0.09                                 | 2          | 2          | 4          |
| AVERAGE RATE                            | 0.41                                 | 10         | 6          | 16         |
| MAXIMUM RATE                            | 1.26                                 | 29         | 20         | 49         |
| STANDARD DEVIATION                      | 0.22                                 |            |            |            |
| EQUATION: $LN(T) = 0.83 * LN(X) - 0.05$ | $R^2 = 0.94$                         | 12         | 8          | 20         |
| <b>LARGEST OF AVERAGE OR EQUATION</b>   |                                      | <b>12</b>  | <b>8</b>   | <b>20</b>  |



|                                       |                                      |            |            |            |
|---------------------------------------|--------------------------------------|------------|------------|------------|
| PROJECT                               | 75 ON 2ND                            |            |            |            |
| PARCEL                                | PROPOSED DEVELOPMENT                 |            |            |            |
| ITE LAND USE CATEGORY AND CODE        | MULTIFAMILY HOUSING (MID-RISE) (221) |            |            |            |
| INDEPENDENT VARIABLE                  | DWELLING UNITS                       |            |            |            |
| SIZE                                  | 39                                   |            |            |            |
|                                       | RATE                                 | TRIPS      |            |            |
|                                       |                                      | ENTERING   | EXITING    | SUM        |
| <b>SATURDAY DAILY</b>                 |                                      | 50%        | 50%        |            |
| NUMBER OF STUDIES                     | 6                                    |            |            |            |
| AVERAGE SIZE                          | 224                                  |            |            |            |
| MINIMUM RATE                          | 4.03                                 | 79         | 78         | 157        |
| AVERAGE RATE                          | 4.91                                 | 96         | 95         | 191        |
| MAXIMUM RATE                          | 8.51                                 | 166        | 166        | 332        |
| STANDARD DEVIATION                    | 1.26                                 |            |            |            |
| EQUATION: $T = 3.04 * (X) + 417.11$   | $R^2 = 0.73$                         | 268        | 268        | 536        |
| <b>LARGEST OF AVERAGE OR EQUATION</b> |                                      | <b>268</b> | <b>268</b> | <b>536</b> |
| <b>PEAK HOUR GENERATOR</b>            |                                      | 49%        | 51%        |            |
| NUMBER OF STUDIES                     | 8                                    |            |            |            |
| AVERAGE SIZE                          | 264                                  |            |            |            |
| MINIMUM RATE                          | 0.34                                 | 6          | 7          | 13         |
| AVERAGE RATE                          | 0.44                                 | 8          | 9          | 17         |
| MAXIMUM RATE                          | 0.73                                 | 14         | 14         | 28         |
| STANDARD DEVIATION                    | 0.08                                 |            |            |            |
| EQUATION: $T = 0.42 * (X) + 6.73$     | $R^2 = 0.89$                         | 11         | 12         | 23         |
| <b>LARGEST OF AVERAGE OR EQUATION</b> |                                      | <b>11</b>  | <b>12</b>  | <b>23</b>  |
| <b>SUNDAY DAILY</b>                   |                                      | 50%        | 50%        |            |
| NUMBER OF STUDIES                     | 6                                    |            |            |            |
| AVERAGE SIZE                          | 224                                  |            |            |            |
| MINIMUM RATE                          | 3.06                                 | 60         | 59         | 119        |
| AVERAGE RATE                          | 4.09                                 | 80         | 80         | 160        |
| MAXIMUM RATE                          | 8.41                                 | 164        | 164        | 328        |
| STANDARD DEVIATION                    | 1.48                                 |            |            |            |
| EQUATION: NOT PROVIDED                | NA                                   | NA         | NA         | NA         |
| <b>LARGEST OF AVERAGE OR EQUATION</b> |                                      | <b>80</b>  | <b>80</b>  | <b>160</b> |
| <b>PEAK HOUR GENERATOR</b>            |                                      | 62%        | 38%        |            |
| NUMBER OF STUDIES                     | 6                                    |            |            |            |
| AVERAGE SIZE                          | 224                                  |            |            |            |
| MINIMUM RATE                          | 0.26                                 | 6          | 4          | 10         |
| AVERAGE RATE                          | 0.39                                 | 9          | 6          | 15         |
| MAXIMUM RATE                          | 1.07                                 | 26         | 16         | 42         |
| STANDARD DEVIATION                    | 0.23                                 |            |            |            |
| EQUATION: NOT PROVIDED                | NA                                   | NA         | NA         | NA         |
| <b>LARGEST OF AVERAGE OR EQUATION</b> |                                      | <b>9</b>   | <b>6</b>   | <b>15</b>  |



|                                       |                                      |           |           |            |
|---------------------------------------|--------------------------------------|-----------|-----------|------------|
| PROJECT                               | 75 ON 2ND                            |           |           |            |
| PARCEL                                | PROPOSED DEVELOPMENT                 |           |           |            |
| ITE LAND USE CATEGORY AND CODE        | MULTIFAMILY HOUSING (MID-RISE) (221) |           |           |            |
| INDEPENDENT VARIABLE                  | OCCUPIED DWELLING UNITS              |           |           |            |
| SIZE                                  | 39                                   |           |           |            |
|                                       |                                      | TRIPS     |           |            |
|                                       |                                      | ENTERING  | EXITING   | TOTAL      |
| <b>WEEKDAY DAILY</b>                  |                                      | 50%       | 50%       |            |
| NUMBER OF STUDIES                     | 4                                    |           |           |            |
| AVERAGE SIZE                          | 175                                  |           |           |            |
| MINIMUM RATE                          | 2.95                                 | 58        | 57        | 115        |
| AVERAGE RATE                          | 4.75                                 | 93        | 92        | 185        |
| MAXIMUM RATE                          | 5.49                                 | 107       | 107       | 214        |
| STANDARD DEVIATION                    | 1.00                                 |           |           |            |
| EQUATION: $T = 5.57 * (X) - 143.95$   | $R^2 = 0.97$                         | 37        | 36        | 73         |
| <b>LARGEST OF AVERAGE OR EQUATION</b> |                                      | <b>93</b> | <b>92</b> | <b>185</b> |
| <b>AM PEAK HOUR ADJACENT STREET</b>   |                                      | 26%       | 74%       |            |
| NUMBER OF STUDIES                     | 7                                    |           |           |            |
| AVERAGE SIZE                          | 234                                  |           |           |            |
| MINIMUM RATE                          | 0.36                                 | 4         | 10        | 14         |
| AVERAGE RATE                          | 0.42                                 | 4         | 12        | 16         |
| MAXIMUM RATE                          | 0.63                                 | 7         | 18        | 25         |
| STANDARD DEVIATION                    | 0.06                                 |           |           |            |
| EQUATION: $T = 0.44 * (X) - 4.16$     | $R^2 = 0.97$                         | 3         | 10        | 13         |
| <b>LARGEST OF AVERAGE OR EQUATION</b> |                                      | <b>4</b>  | <b>12</b> | <b>16</b>  |
| <b>AM PEAK HOUR GENERATOR</b>         |                                      | 28%       | 72%       |            |
| NUMBER OF STUDIES                     | 6                                    |           |           |            |
| AVERAGE SIZE                          | 229                                  |           |           |            |
| MINIMUM RATE                          | 0.36                                 | 4         | 10        | 14         |
| AVERAGE RATE                          | 0.42                                 | 4         | 12        | 16         |
| MAXIMUM RATE                          | 0.63                                 | 7         | 18        | 25         |
| STANDARD DEVIATION                    | 0.07                                 |           |           |            |
| EQUATION: $T = 0.44 * (X) - 4.65$     | $R^2 = 0.97$                         | 4         | 9         | 13         |
| <b>LARGEST OF AVERAGE OR EQUATION</b> |                                      | <b>4</b>  | <b>12</b> | <b>16</b>  |
| <b>PM PEAK HOUR ADJACENT STREET</b>   |                                      | 64%       | 36%       |            |
| NUMBER OF STUDIES                     | 7                                    |           |           |            |
| AVERAGE SIZE                          | 234                                  |           |           |            |
| MINIMUM RATE                          | 0.29                                 | 7         | 4         | 11         |
| AVERAGE RATE                          | 0.42                                 | 10        | 6         | 16         |
| MAXIMUM RATE                          | 0.63                                 | 16        | 9         | 25         |
| STANDARD DEVIATION                    | 0.12                                 |           |           |            |
| EQUATION: $T = 0.46 * (X) - 8.22$     | $R^2 = 0.82$                         | 6         | 4         | 10         |
| <b>LARGEST OF AVERAGE OR EQUATION</b> |                                      | <b>10</b> | <b>6</b>  | <b>16</b>  |
| <b>PM PEAK HOUR GENERATOR</b>         |                                      | 60%       | 40%       |            |
| NUMBER OF STUDIES                     | 6                                    |           |           |            |
| AVERAGE SIZE                          | 229                                  |           |           |            |
| MINIMUM RATE                          | 0.29                                 | 7         | 4         | 11         |
| AVERAGE RATE                          | 0.49                                 | 11        | 8         | 19         |
| MAXIMUM RATE                          | 0.63                                 | 15        | 10        | 25         |
| STANDARD DEVIATION                    | 0.10                                 |           |           |            |
| EQUATION: $T = 0.51 * (X) - 5.79$     | $R^2 = 0.92$                         | 8         | 6         | 14         |
| <b>LARGEST OF AVERAGE OR EQUATION</b> |                                      | <b>11</b> | <b>8</b>  | <b>19</b>  |



|                                       |                                      |           |           |            |
|---------------------------------------|--------------------------------------|-----------|-----------|------------|
| PROJECT                               | 75 ON 2ND                            |           |           |            |
| PARCEL                                | PROPOSED DEVELOPMENT                 |           |           |            |
| ITE LAND USE CATEGORY AND CODE        | MULTIFAMILY HOUSING (MID-RISE) (221) |           |           |            |
| INDEPENDENT VARIABLE                  | OCCUPIED DWELLING UNITS              |           |           |            |
| SIZE                                  | 39                                   |           |           |            |
|                                       | RATE                                 | TRIPS     |           |            |
|                                       |                                      | ENTERING  | EXITING   | SUM        |
| <b>SATURDAY DAILY</b>                 |                                      | 50%       | 50%       |            |
| NUMBER OF STUDIES                     | 1                                    |           |           |            |
| AVERAGE SIZE                          | 222                                  |           |           |            |
| MINIMUM RATE                          | 4.25                                 | 83        | 83        | 166        |
| AVERAGE RATE                          | 4.25                                 | 83        | 83        | 166        |
| MAXIMUM RATE                          | 4.25                                 | 83        | 83        | 166        |
| STANDARD DEVIATION                    | NA                                   |           |           |            |
| EQUATION: NOT PROVIDED                | NA                                   | NA        | NA        | NA         |
| <b>LARGEST OF AVERAGE OR EQUATION</b> |                                      | <b>83</b> | <b>83</b> | <b>166</b> |
| <b>PEAK HOUR GENERATOR</b>            |                                      | 53%       | 47%       |            |
| NUMBER OF STUDIES                     | 1                                    |           |           |            |
| AVERAGE SIZE                          | 222                                  |           |           |            |
| MINIMUM RATE                          | 0.36                                 | 7         | 7         | 14         |
| AVERAGE RATE                          | 0.36                                 | 7         | 7         | 14         |
| MAXIMUM RATE                          | 0.36                                 | 7         | 7         | 14         |
| STANDARD DEVIATION                    | NA                                   |           |           |            |
| EQUATION: NOT PROVIDED                | NA                                   | NA        | NA        | NA         |
| <b>LARGEST OF AVERAGE OR EQUATION</b> |                                      | <b>7</b>  | <b>7</b>  | <b>14</b>  |
| <b>SUNDAY DAILY</b>                   |                                      | 50%       | 50%       |            |
| NUMBER OF STUDIES                     | 1                                    |           |           |            |
| AVERAGE SIZE                          | 222                                  |           |           |            |
| MINIMUM RATE                          | 3.23                                 | 63        | 63        | 126        |
| AVERAGE RATE                          | 3.23                                 | 63        | 63        | 126        |
| MAXIMUM RATE                          | 3.23                                 | 63        | 63        | 126        |
| STANDARD DEVIATION                    | NA                                   |           |           |            |
| EQUATION: NOT PROVIDED                | NA                                   | NA        | NA        | NA         |
| <b>LARGEST OF AVERAGE OR EQUATION</b> |                                      | <b>63</b> | <b>63</b> | <b>126</b> |
| <b>PEAK HOUR GENERATOR</b>            |                                      | 62%       | 38%       |            |
| NUMBER OF STUDIES                     | 1                                    |           |           |            |
| AVERAGE SIZE                          | 222                                  |           |           |            |
| MINIMUM RATE                          | 0.27                                 | 7         | 4         | 11         |
| AVERAGE RATE                          | 0.27                                 | 7         | 4         | 11         |
| MAXIMUM RATE                          | 0.27                                 | 7         | 4         | 11         |
| STANDARD DEVIATION                    | NA                                   |           |           |            |
| EQUATION: NOT PROVIDED                | NA                                   | NA        | NA        | NA         |
| <b>LARGEST OF AVERAGE OR EQUATION</b> |                                      | <b>7</b>  | <b>4</b>  | <b>11</b>  |



## Project Narrative

690-PA-2018 / 2-ZN-2019

Rezoning and Development Review Board for:

### 75 on 2<sup>nd</sup>

#### **A Boutique Apartment Infill Development**

Location: Northeast Corner of 75<sup>th</sup> Street & 2<sup>nd</sup> Street  
7502 N. 2<sup>nd</sup> Street

Request: Rezone from **D/OR-2 DO** (Downtown/Office Residential – Type 2 Downtown Overlay) and **S-R DO** (Service Residential Downtown Overlay), to **D/DMU-2 DO** (Downtown / Downtown Mixed-Use Type 2 Downtown Overlay)

Prepared for: 75<sup>th</sup> & 2<sup>nd</sup>, LLC  
Tom Frenkel  
7340 E. Main St. #200  
Scottsdale, AZ 85251

Prepared by: K&I Homes, LLC  
Kristjan Sigurdsson, Principal Architect  
6125 E. Indian School Rd., Suite 2005  
Scottsdale, AZ 85251

Date: May 4<sup>th</sup>, 2019 (Rezone 2<sup>nd</sup> / DRB 1<sup>st</sup> Submittal)





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## Overview

### The Request

This request is for a rezoning of 4 parcels from **D/OR-2 DO** (Downtown/Office Residential – Type 2 Downtown Overlay) and **S-R DO** (Service Residential Downtown Overlay), to **D/DMU-2 DO** (Downtown / Downtown Mixed-Use Type 2 Downtown Overlay) on approximately 1.1 Gross acre site, located on the Northeast corner of 75<sup>th</sup> Street and 2<sup>nd</sup> Street, in the Civic Center District of Old Town Scottsdale.

The current **S-R DO** allows for a density of 23 DU/Ac and a height of 26 feet.

The current **D/OR-2 DO** allows for a density of 50Du/Ac and a height of 66 feet.

The current zoning would allow for the proposed density of the project, but a rezone is required to increase the allowable height on the OR zoned portion of the site.

The existing site contains three office buildings, two of which are old and dilapidated. All existing buildings and site improvements are scheduled to be demolished and removed as part of this development.

The current owner, Clayton Companies ([claytoncompanies.com](http://claytoncompanies.com)) is planning to re-develop the site into a high-quality boutique apartment building, as per the attached plans. The Clayton Companies, headed by Tom Frenkel, has developed or redeveloped numerous high-quality projects throughout Scottsdale over the last 3 decades. Notable residential developments include **The Tom/Scot** ([thetomscot.com](http://thetomscot.com)), and **77 on the Park** ([77onthepark.com](http://77onthepark.com)), in Scottsdale, both of which were also designed by K&I Homes, and proven to be very successful projects.

The Clayton Companies goals are to build long-term relationships with both their tenants and the community. They look beyond short-term gains, and design and build for a long-term hold, retaining ownership of their buildings for decades. Consequently, this proposed project includes features rarely, if ever, provided by the typical apartment developer. This includes much larger unit size (1 Bedroom units averaging 870 SF, and 2 Bedroom units averaging 1,370 SF), separate laundry and powder rooms, large 8' deep balconies (average size 190 SF – more than three times that required by ordinance). In addition, well-appointed outdoor and indoor amenity area are being provided, way beyond what is typically provided in projects of this size. Experience has shown that this leads to longer-term leases and very low turnover rates, where residents get to know each other, form long term relationships and create a truly comfortable and secure sense of community.

This proposed project that will include 39 living units, in a 3 and 4 story building. Associated amenity areas will be included at ground level along the Street frontage. The project will include a mix of 1- and 2-bedroom units, ranging in size from 750-1400 SF. All of the required parking will be provided in a ground level parking garage accessed from the existing alley.

Concurrent with the Re-Zoning we are requesting Development Review Board Approval of the proposed project.



### The Context

The property is adjacent to mixed-use, residential, commercial and civic properties of varying age, character, condition, scale and density.

To the East is the Scottsdale Public Library and Civic Center Mall.

To the North are several older office and residential properties, separated by the existing alley.

To the West is a newly redeveloped residential office

To the South is The Clayton House, a special events venue recently completed by the same developer, and cited in the Old Town Scottsdale Character Area Plan for high quality design through adaptive reuse.

The Old Town Districts provide regional appeal for future residents. This application is driven by the site's prime location and a strong demand for multi-family residential rental units in the area.

The proposed project is a natural fit and compliments the fabric of existing land uses found within the area. It will promote an integrated, sustainable character for the area with a strong live, work and play component.

The development of this site will continue the revitalization of the surrounding community and provide attractive new housing options. It will also be a catalyst for future redevelopment in the area. Reinvestment and redevelopment in this mature area of the City is critical to its future success.

### The Design

The Building Style can be considered as Modern or Contemporary with a Mid-Century Modern twist. It is a timeless design characterized by straight edges and smooth rectilinear forms in a balanced composition that expresses the form and functionality of its components.

The building has a demanding, yet sophisticated street presence that will provide a unique and attractive streetscape. The street side perimeter incorporates outdoor patios and amenity spaces for residents and visitors.

The building mass is extruded, recessed and stepped in both the horizontal and vertical planes, providing relief, visual interest and a multitude of separately identifiable components. The building height steps down from 4 story in the middle to 3 story on the East and West to properly transition to existing adjacent properties.

Color and materials have been carefully selected to complement the existing context, as well as to provide a unique identity. The main building material (stucco) and color closely matches that of the Scottsdale Library across the street to the East. The woodgrain siding at the corner closely matches that of The Clayton House across the street to the South, as do the stucco accents, exposed CMU block, and board formed concrete walls. The orange and teal accent colors are classic mid-century modern colors that reinforce the architecture and provide a unique identity for building.

### The Open Space / Landscaping

The proposed project promotes the value of usable open space on several levels and creates a walkable community with connectivity to the surrounding land uses. While Open Space, other than the building setback are not required by ordinance, the project includes approximately 30% of the net site area as hardscape, landscape and open space, including a boutique hotel like pool/amenity area along the 75<sup>th</sup> Street frontage, creating a gathering place that fosters social interaction among residents. While a safety/security fencing is needed around the pool area, it is visually open to the street. A large activity deck is also provided on the 2<sup>nd</sup> floor above the gym, that fronts on the street. In addition to that all of the units fronting the streets have continuous 8' deep balconies along the entire unit. Averaging 2-300 SF,



these balconies become outdoor living extensions of the units, rather than just a required ordinance appendix. They are sure to be frequently utilized by residents, supporting leisure and high quality of life.

While no side yard setback is required by ordinance, a 20-foot landscape buffer is provided on the East side of the building, respecting our single-family office residential neighbor.

The landscaping for the development will be in conformance with city standards and approved palette. Low-water use indigenous plants and trees will be used throughout the project. Turf areas for active and passive recreational use will utilize artificial turf material to conserve water use.

Landscaping along the streets will continue the theme established by The Clayton House across the street to the South. This will create a unified landscape character for a significant stretch on both sides of the street.

### The Environment

The design will respect and enhance the unique climate through the use of solar shading, landscaping, recessed and covered balconies, large overhangs, articulation, material selection, textures and light paint colors.

The interior parking garage eliminates all asphalt from the site, significantly reducing the typical heat-island effect.

The development anticipates achieving a high level of sustainability, utilizing recognized green building features.

### The Pedestrian

The site is ideally located within close proximity (walking distance) to abundant retail, restaurant, entertainment and services, to create a sustainable, walk friendly environment.

The location encourages residents to walk, bike and utilize transit opportunities. The adjacent streets provide a framework for pedestrian and bicycle connections between the project and other surrounding land uses. This promotes reduced vehicular trip generation, and a sustainable, walkable community.

To better the pedestrian experience, the sidewalk along 75<sup>th</sup> Street has been detached and widened, and a landscape buffer has been added between the street and the sidewalk.

### The Parking

There is no Parking Lot. All of the required parking will be provided in a ground level parking garage accessed from the existing alley.

There will be no vehicular access drives from either street. Existing driveway along 75<sup>th</sup> Street is being removed, and two additional on street parking spaces added instead.



## Scottsdale General Plan 2001

The Scottsdale General Plan designates the property as 'Mixed-Use Neighborhoods'

**MIXED-USE NEIGHBORHOODS:** Mixed-use neighborhoods are located in areas with strong access to multiple modes of transportation and major regional access and services, and have a focus on human scale development. These areas could accommodate higher density housing combined with complementary office or retail uses or mixed-use structures with residential above commercial or office. 75on2nd is a higher density residential project that provides complimentary office use for the residents.

Below is an outline of how the proposed project aligns with and reinforces some of the key goals and policies of the General Plan.

### CHARACTER AND DESIGN

**Goal 1. Determine the appropriateness of all development in terms of community goals, surrounding area character, and the specific context of the surrounding neighborhood.**

- Respond to regional and citywide contexts with new and revitalized development in terms of:
  - Scottsdale as a southwestern desert community.
  - Scottsdale as a part of a large metropolitan area with a unique reputation, image, character and identity within its regional setting.
  - Relationships to surrounding land forms, land uses and transportation corridors.
  - Contributions to city wide linkages of open space and activity zones.
  - Consistently high community quality expectations.
  - Physical scale relating to the human perception at different points of experience.
  - Visual impacts (views, lighting, etc.) upon public settings and neighboring properties.
  - Visual and accessibility connections and separations.
- Enrich the lives of all Scottsdale citizens by promoting safe, attractive, and context compatible development.
- Encourage projects that are responsive to the natural environment, site conditions, and unique character of each area, while being responsive to people's needs.
- Ensure that all development is a part of and contributes to the established or planned character of the area of the proposed location.

The Old Town Districts provide regional appeal for future residents. This application is driven by the site's prime location and a strong demand for high quality multi-family residential rental units in the area.

The site is ideally located in close walking distance to a variety of civic, cultural, sports, entertainment, and services related activities and businesses, as well as two of Scottsdale's largest employers (Honor Health and City of Scottsdale). Bus and trolley services are also available in short walking distance. 75<sup>th</sup> and 2<sup>nd</sup> Street provides connectivity to and from Old Town Public Spaces for pedestrians and bicyclists alike. The site is also very close to two major arterials (Scottsdale Rd and Indian School), as well as the Loop 101, providing easy regional access.

The design will respect and enhance the unique character of Scottsdale, with high quality context appropriate design. Color and materials have been carefully selected to complement the existing context, as well as to provide a unique identity.

To better the pedestrian experience, the sidewalk along 75<sup>th</sup> Street has been detached and widened, and a landscape buffer has been added between the street and the sidewalk. Shade trees with large canopies will be provided along both streets to provide maximum shade along the pedestrian walkways. Landscaping along the streets will continue the theme established by The Clayton House across the street to the South. This will create a unified landscape character for a significant stretch on both sides of the street.



**Goal 2. Review the design of all development proposals to foster quality design that enhances Scottsdale as a unique southwestern desert community.**

- Promote development that respects and enhances the unique climate, topography, vegetation and historical context of Scottsdale's Sonoran Desert environment, all of which are considered amenities that help sustain our community and its quality of life.
- Promote, evaluate and maintain the Scottsdale Sensitive Design Principles that when followed will help improve and reinforce the quality of design in our community.

75on2nd is carefully designed to be responsive to the unique local climate through the use of building orientation, solar shading, landscaping, recessed and covered balconies, large overhangs, articulation, material selection, textures and light paint colors. Refer to discussion on Scottsdale's Sensitive Design Principles in Section V below.

**Goal 6. Recognize the value and visual significance that landscaping has upon the character of the community and maintain standards that result in substantial, mature landscaping that reinforces the character of the city.**

- Require substantial landscaping be provided as part of new development or redevelopment.
- Maintain the landscaping materials and pattern within a character area.
- Encourage the use of landscaping to reduce the effects of heat and glare on buildings and pedestrian areas as well as contribute toward better air quality.
- Discourage plant materials that contribute substantial air-borne pollen.
- Encourage landscape designs that promote water conservation, safe public settings, erosion protection, and reduce the "urban heat island" effect.

While Open Space, other than the building setback are not required by ordinance, the project includes approximately 30% of the net site area as hardscape, landscape and open space.

The landscape palette has been selected to compliment the adjacent area by continuing the theme established by The Clayton House across the street to the South. This will create a unified landscape character for a significant stretch on both sides of the street.

Native & low water use plants have been chosen to provide a large variety of texture and form. Shade trees with large canopies are strategically placed to provide maximum shade coverage along Pedestrian walkways. Understory plantings have been selected to provide seasonal interest with a variety of bloom periods & work well within the proposed microclimate areas.

**Goal 7. Encourage sensitive outdoor lighting that reflects the needs and character of different parts of the city.**

- Encourage lighting designs that minimize glare and lighting intrusions into neighborhood settings.
- Encourage creative and high quality designs for outdoor lighting fixtures and standards that reflect the character of the local context.
- Discourage lighting that reduces the viability of astronomical observation facilities within Arizona.
- Allow for lighting systems that support active pedestrian uses and contribute to public safety.

The lighting is carefully designed to minimize glare and intrusion into neighboring property and the dark sky above. The existing streetlights provide safe passage for pedestrians along the street sidewalks. Safety and security lights are provided along the existing alley. Up/down accent lighting is provided at the balconies. All on site lighting is energy efficient LED with consistent 3000K color throughout. Wall grazing accent lighting is provided to accentuate the verticality and shadow reliefs of the two stairwells along 2<sup>nd</sup> street. Additionally, low voltage landscape lighting will be provided throughout to accent and enhance all the landscaping, as well as uplight and accentuate the shadow relief blocks of the sculptural masonry garage walls.



## LAND USE

**Goal 4. Maintain a balance of land uses that support a high quality of life, a diverse mixture of housing and leisure opportunities and the economic base needed to secure resources to support the community.**

- Allow for a diversity of residential uses and supporting services that provide for the needs of the community.
- Provide a variety of housing types and densities and innovative development patterns and building methods that will result in greater housing affordability.

This boutique apartment project will include 39 rental units, with a mix of One- and Two-Bedroom units of varying sizes, providing an attractive new housing option for the community.

**Goal 5. Develop land use patterns that are compatible with and support a variety of mobility opportunities/choices and service provisions.**

- Integrate the pattern of land uses and mobility systems in ways that allow for shorter and fewer automobile trips and greater choices for mobility.
- Encourage non-motorized (pedestrian and bicycle) access/circulation within and to mixed-use centers to reduce reliance on the automobile.
- Provide a balance of live, work, and play land uses and development intensities that enable convenient non-automotive trips (pedestrian and cycling and transit) where environmentally and physically feasible.

The Site is located within close proximity (walking distance) to abundant retail, restaurant and services, to create a sustainable, walk friendly environment that takes advantage of the huge employment and service base in the vicinity of the property.

**Goal 6. Promote land use patterns that conserve resources such as land, clean air, water, and energy and serve all people within the community.**

- Encourage a variety of compatible mixed-use land uses throughout the city in appropriate locations allowing people to live, work, play and shop in the same general area.
- Protect and revitalize established areas/neighborhoods by promoting new development and the adaptive reuse of existing community resources that re-energize an area.

The location of the property provides connectivity to the established retail, restaurant, services and huge employment base in the nearby area. 75on2nd will promote an integrated, sustainable character for the area with a strong live, work and play component. As an infill redevelopment project, 75on2nd will provide revitalization and more productive use for this core area of Scottsdale. Reinvestment and redevelopment in this mature area of the City is critical to its future success.

**Goal 9. Provide a broad variety of land uses that create a high level of synergy within mixed-use neighborhoods.**

- Incorporate a diverse range of residential and non-residential uses and densities within mixed-use neighborhoods.
- Encourage redevelopment that invigorates an area while also respecting the character of adjacent neighborhoods.
- Encourage compact mixed-use, pedestrian oriented development patterns, at urban densities, that limit the demand for parking and unnecessary automobile trips and support alternative modes of mobility.

72on2nd incorporates a range of residential uses within a mixed-use neighborhood. The compact, high-quality infill redevelopment will invigorate the area, while being respectful to surrounding neighbors. The close proximity to a great variety of commercial, retail and service activities within the area encourages residents to walk and bike, reducing unnecessary automobile trips.



## **ECONOMIC VITALITY**

### **Goal 7. Sustain the long-term economic wellbeing of the city and its citizens through redevelopment and revitalization efforts.**

- Encourage and support the renovation and reuse of underutilized or vacant parcels/buildings/shopping centers.
- Enhance the experience for visitors who evaluate the quality of their experience through their visual impressions of the community by revitalizing the mature built environment of businesses and neighborhoods.

The existing underutilized site contains three small office buildings, two of which are old and dilapidated. All existing buildings and site improvements are scheduled to be demolished and removed as part of this development. In addition to providing a much more effective and appropriate use for the area, 75on2nd will be a huge visual improvement that will continue to revitalize.

## **HOUSING**

### **Goal 4. Encourage housing development that provides for "live, work, and play" relationships as a way to reduce traffic congestion, encourage economic expansion and increase overall quality of life for our residents.**

- Encourage a variety of housing densities throughout Scottsdale, with mixed-uses in areas of major employment and transit hubs, to offer greater live-work choices to a broader economic range of households.
- Encourage housing linked/connected to the city's mobility system.

The site is located in close proximity to a huge employment base that includes two of Scottsdale's largest employers, the City of Scottsdale, and HonorHealth. Public bus and trolley service are available within a short walking distance. The site is also just a short distance from several major arterials and the Loop 101, a regional access way.

## **NEIGHBORHOODS**

### **Goal 1. Enhance and protect diverse neighborhoods so they are safe and well maintained.**

- Provide for a range of housing opportunities.

75on2nd includes 39 rental units of varying sizes in a boutique environment, providing unique new housing option for the community.

### **Goal 3. Sustain the long-term economic well being of the city and its citizens through redevelopment and neighborhood preservation and revitalization efforts.**

- Use redevelopment and revitalization techniques to positively impact the visual and aesthetic impressions that tourists, citizens, and the businesses have of the overall city.
- Maintain and create opportunities for quality housing for all citizens. This is a crucial component of Scottsdale's local economy.

75on2nd is a redevelopment of an under-utilized blighted parcel in a prime downtown location. The scale and quality of the proposed project will be a huge visual improvement and help to revitalize the area. 75on2nd provides for high quality rental housing, and includes features rarely, if ever, provided by the typical apartment developer. This includes much larger unit size, separate laundry/powder rooms, and large 8' deep balconies. In addition, well-appointed outdoor and indoor amenity area are being provided, way beyond what is typically provided in projects of this size



**Goal 5. Promote and encourage context-appropriate new development in established areas of the community.**

- Encourage new development efforts toward existing developed areas in Scottsdale.
- Promote the use of existing infrastructure as an incentive to encourage more infill development within the community.
- Promote existing developed areas of the community as opportune economic development infill sites.

The property is adjacent to mixed-use, residential, commercial and civic properties of varying age, character, condition, scale and density. The proposed project is a natural fit and compliments the fabric of existing land uses found within the area. Massing and height are sensitive to adjacent properties. Color and materials have also been carefully selected to complement the existing context.

**GROWTH AREAS**

**Goal 1. Direct and sustain growth and expansion in areas of the city that can support a concentration of a variety of uses and are particularly suitable for multimodal transportation and infrastructure expansion and improvements.**

- Promote the coordination of infrastructure development and upgrade with opportunities for infill development and development activity where it will encourage a mix of uses and support pedestrian and transit activity.

The property is located in an established area with all major infrastructure already in place than can easily support a higher concentration of residential uses. The property is also close to many multi-modal transportation networks, including arterials, freeways, bus and trolley routes.

**COMMUNITY MOBILITY**

**Goal 8. Emphasize live, work, and play land use relationships to optimize the use of citywide systems and reduce the strain on regional and local/neighborhood systems.**

- Encourage the development or redevelopment of areas that support a balance of live, work and play land use relationships and alternative modes of transportation that reduce the reliance on the automobile.

75on2nd is ideally located within close proximity to abundant retail, restaurant, entertainment and services, to create a sustainable, walk friendly environment with a strong live, work and play component. The location encourages residents to walk, bike and utilize transit opportunities. The adjacent streets provide a framework for pedestrian and bicycle connections between the project and other surrounding land uses.



## **Old Town Scottsdale Character Area Plan**

The Old Town Scottsdale Plan establishes the vision for Old Town Scottsdale.

Below is an outline of how the proposed project aligns with and reinforces some of the key goals and policies of the Character Area Plan.

### **LAND USE**

#### **GOAL LU 3**

CONTINUE THE USE OF DEVELOPMENT TYPES TO GUIDE THE PHYSICAL AND BUILT FORM OF OLD TOWN SCOTTSDALE.

##### **Policy LU 3.2**

Support higher scale Type 2 development in the majority of the Multiple Use areas surrounding the Downtown Core.

This project is located in The Downtown Civic Center District and Designated as a Type 2 Development Type.

#### **GOAL LU 5**

PROMOTE DIVERSITY IN OLD TOWN HOUSING OPTIONS.

##### **Policy LU 5.1**

Develop a variety of housing types such as apartments, condominiums, lofts, townhomes, patio homes, and live/work units.

##### **Policy LU 5.2**

Recognize the need for housing developments that are large scale projects with numerous units and amenities, as well as small infill projects with a limited number of units.

72on2nd is a unique, high quality boutique apartment project on a small infill site.

#### **GOAL LU 6**

ENCOURAGE A MIX OF LAND USES TO SUPPORT A WALKABLE AND SUSTAINABLE DOWNTOWN.

##### **Policy LU 6.1**

Encourage development to provide a mix of uses and active street frontages, particularly in the Downtown Core, along Scottsdale Road, adjacent to primary open space areas and within the more active Old Town districts. For development in peripheral areas such as the Garden District, the Scottsdale Arts District and portions of the Fifth Avenue District west of Goldwater Boulevard, and the Civic Center and Brown and Stetson Districts east of 75th Street that may not be able to support a mix of uses with active frontages, encourage features that create visual interest at the pedestrian level.

The project location does not support extended ground floor mixed-uses and related street activities. Instead, the street side perimeter incorporates outdoor patios, decks and amenity spaces for residents and visitors, creating a gathering place that fosters social interaction and creates visual interest at the pedestrian level.



## CHARACTER & DESIGN

### GOAL CD 1

STRENGTHEN AND ENHANCE OLD TOWN DISTRICT CHARACTER WITH CONTEXTUALLY COMPATIBLE DEVELOPMENT.

#### **Policy CD 1.1**

Incorporate the distinctive qualities and character of the surrounding, and/or evolving district context into building and site design.

#### **Policy CD 1.2**

Encourage public and private development to establish new urban design and architectural character in areas where downtown development patterns are fragmented or are in transition.

#### **Policy CD 1.5**

Maintain the pedestrian oriented small town character and human scale in the Downtown Core. Incorporate similar elements of pedestrian character and scale at the street level in all downtown districts.

This area of downtown east of 75<sup>th</sup> Street is in the early phases of redevelopment and revitalization, transitioning from older low scale/density office residential to the newer designated Type 2 development area. While being considerate of the existing context and adjacent buildings, 75on2nd will continue to establish the architectural character for the area started by recent redevelopment projects, while also creating a unique identity.

Color and materials have been carefully selected to complement the existing context, as well as to provide a unique identity. The main building material (stucco) and color closely matches that of the Scottsdale Library across the street to the East. The woodgrain siding at ground level and corner element closely matches that of The Clayton House across the street to the South, as do the stucco accents, exposed CMU block, and board formed concrete walls. The orange and teal accent colors are classic mid-century modern colors that reinforce the architecture and provide a unique identity for building.

To better the pedestrian experience, the sidewalk along 75<sup>th</sup> Street has been detached and widened, and a landscape buffer has been added between the street and the sidewalk. Shade trees with large canopies will be provided along both streets to provide maximum shade along the pedestrian walkways. Sculptural site walls that also serve as bench seating are provided along both streets. Landscaping along the streets will continue the theme established by The Clayton House across the street to the South. This will create a unified landscape character for a significant stretch on both sides of the street.

### GOAL CD 3

OLD TOWN DEVELOPMENT SHOULD RESPECT AND RESPOND TO THE UNIQUE CLIMATE AND CONTEXT OF THE SOUTHWESTERN SONORAN DESERT.

#### **Policy CD 3.1**

Promote downtown urban and architectural design that is influenced by, and responds to, the character and climate of the Sonoran Desert.

#### **Policy CD 3.2**

Enhance outdoor pedestrian comfort through the creation of microclimates that incorporate a variety of shade, trees, and other drought tolerant landscape features to create passively cooler temperatures.

#### **Policy CD 3.3**

Pursue building and development strategies that reduce the heat island effect within downtown.

#### **Policy CD 3.4**

Public realm and site design should incorporate techniques for efficient water use. Water, as a landscape element or design feature, should be used judiciously and placed in locations with high pedestrian activity



75on2nd is carefully designed to be responsive to the unique local climate through the use of building orientation, solar shading, landscaping, recessed and covered balconies, large overhangs, articulation, material selection, textures and light paint colors. In addition, asphalt and parking lots have been eliminated from the site and placed inside the building, reducing the heat island effect.

The landscape palette has been selected to compliment the adjacent area. Native & low water use plants have been chosen to provide a large variety of texture and form. Plant selection specifically includes plants that are used by neighboring properties to help create a consistent neighborhood theme. Shade trees with large canopies are strategically placed to provide maximum shade coverage along Pedestrian walkways. Understory plantings have been selected to provide seasonal interest with a variety of bloom periods & work well within the proposed microclimate areas.

A small water feature is incorporated into the pool area, close to the street where it can be heard by pedestrians passing by.

#### **GOAL CD 4**

CREATE A DYNAMIC AND CONNECTED WALKABLE DOWNTOWN THROUGH URBAN AND ARCHITECTURAL DESIGN.

##### **Policy CD 4.1**

Encourage urban and architectural design that is human scale and provides pedestrian comfort.

##### **Policy CD 4.3**

Improve the pedestrian experience on arterial roadways with features such as increased and consistent sidewalk width, shade, trees, on-street parking, landscape buffers, landscape medians, and pedestrian refuge islands.

The building design along with the associated hardscape and landscape improvements provide a visually interesting and comfortable walking experience along the building frontage, enhanced by a variety of building materials, textures and sculptural shadow patterns. While adjacent streets are smaller local streets, they are important pedestrian passageways through the area. The 2<sup>nd</sup> street sidewalk was recently redone and widened along with new on-street parking. This project enhances those improvements by removing the existing driveway and adding additional on-street parking. The narrow sidewalk along 75<sup>th</sup> street will be removed, and a wider sidewalk installed detached from the curb. Both streets will get large shade trees and integrated pedestrian seating areas.

#### **GOAL CD 5**

ESTABLISH AN INVITING AND INTERCONNECTED DOWNTOWN PUBLIC REALM AND OPEN SPACE NETWORK THAT IS USEFUL, SAFE, INTERESTING, WALKABLE, AND COMFORTABLE TO ALL.

##### **Policy CD 5.2**

Private and public development should contribute to the creation of new, and/or the expansion of existing, public realm and open space areas throughout Old Town.

##### **Policy CD 5.3**

Provide a variety of public realm and open space areas that accommodate multiple activities and special events for downtown residents, visitors and workers of all ages.

The proposed sidewalk and landscape improvements along both street frontages, as discussed above (Goal CD4) and below (Goal CD6) will significantly contribute to this goal.

Open space activity areas for residents and their guests are provided along the 2<sup>nd</sup> Street frontage, where there are visible and interactive with the public realm.



## **GOAL CD 6**

CREATE SAFE, COMFORTABLE, AND INTERESTING STREET SPACES.

### **Policy CD 6.1**

Create a unified public realm experience through the design of downtown streets, building setback areas, and building frontages.

### **Policy CD 6.2**

Connect downtown street spaces with other pedestrian spaces and linkages.

### **Policy CD 6.3**

Streetscapes should provide continuity for the pedestrian across different developments along the same street. This continuity can be established through the provision of consistent landscape improvements, street tree themes, shade elements, decorative paving, street furniture, public art, and other integrated infrastructure elements.

Building setbacks along the street frontage are guided by the Downtown Ordinance, and consistent with surrounding properties, new and old.

To better the pedestrian experience, the sidewalk along 75<sup>th</sup> Street has been detached and widened, and a landscape buffer has been added between the street and the sidewalk. This is consistent with the recent sidewalk improvements along Main Street Place to the North. Landscaping and hardscape improvements along both streets will continue the theme established by The Clayton House across the street to the South. This will create a unified landscape character for a significant stretch on both sides of the street,

## **GOAL CD 7**

INCORPORATE A REGIONAL LANDSCAPE PALETTE THAT COMPLEMENTS THE URBAN AND PEDESTRIAN CHARACTER OF OLD TOWN.

### **Policy CD 7.1**

Old Town open space and landscape elements should project a desert oasis character, providing an abundance of shade, color, varied textures and forms.

### **Policy CD 7.2**

Landscape materials should complement the built environment, land uses, and other downtown activities. Careful selection of downtown plant materials should take into account attributes such as scale, density, placement, arrangement, and maintenance requirements.

The landscape palette has been selected to compliment the adjacent area. Native & low water use plants have been chosen to provide a large variety of texture and form. Plant selection specifically includes plants that are used by neighboring properties to help create a consistent neighborhood theme. Shade trees with large canopies are strategically placed to provide maximum shade coverage along Pedestrian walkways. Understory plantings have been selected to provide seasonal interest with a variety of bloom periods & work well within the proposed microclimate areas. They also promote a sustainable desert oasis planting theme to match the surrounding character.

The native plant palette selected promotes a more natural landscape requiring minimal maintenance requirements to keep the landscape more natural & healthy.

## **GOAL CD 8**

INTEGRALLY DESIGN LIGHTING INTO THE BUILT ENVIRONMENT.

### **Policy CD 8.1**

Achieve a balance between ambient light levels and designated lighting needs to ensure safe lighting levels while reducing light pollution and glare.

### **Policy CD 8.2**

Encourage lighting that is energy efficient and designed to serve both pedestrian and vehicular safety in public and private spaces.



**Policy CD 8.3**

Use lighting to provide a safe and inviting nighttime environment for residents, businesses, visitors, and nighttime special events and activities.

The lighting is carefully designed to minimize glare and intrusion into neighboring property and the dark sky above. The existing streetlights provide safe passage for pedestrians along the street sidewalks. Safety and security lights are provided along the existing alley. Up/down accent lighting is provided at the balconies. All on site lighting is energy efficient LED with consistent 3000K color throughout. Wall grazing accent lighting is provided to accentuate the verticality and shadow reliefs of the two stairwells along 2<sup>nd</sup> street. Additionally, low voltage landscape lighting will be provided throughout to accent and enhance all the landscaping, as well as uplight and accentuate the shadow relief blocks of the sculptural masonry garage walls.

**GOAL CD 9**

IMPLEMENT HIGH QUALITY URBAN AND ARCHITECTURAL DESIGN IN OLD TOWN.

**Policy CD 9.2**

Incorporate the *Scottsdale Sensitive Design Principles* and the *Old Town Urban Design and Architectural Guidelines* in all development.

**Policy CD 9.3**

Achieve high quality urban and architectural design through the development review process.

75on2nd incorporates many of the Sensitive Design Principals and Urban Design Guidelines as detailed in Section IV and V of this application.

Concurrent with this Re-Zoning we are requesting Development Review Board Approval of the proposed project. Refer to discussion under Development Review Board Criteria in Sec. VI below.

**GOAL CD 10**

INCORPORATE SUSTAINABLE BUILDING PRACTICES IN OLD TOWN DEVELOPMENT.

**Policy CD 10.2**

Incorporate sustainable planning, design and building techniques into downtown development and use durable indigenous materials that will endure over time, to minimize environmental and maintenance impacts.

**Policy CD 10.3**

Encourage green building and biophilic design strategies such as building orientation, passive solar and cooling techniques, natural daylighting, and the integration of regional plant materials as part of downtown development.

**Policy CD 10.4**

Promote the use of energy efficient systems, construction methods, and renewable energy sources in downtown development.

**Policy CD 10.6**

Use existing urban resources, such as infrastructure systems, underutilized sites, buildings, and transportation networks to minimize the use of new resources.

**Policy CD 10.8**

Develop and maintain sustainable solid waste collection, recycling, and disposal delivery systems downtown. Encourage the use of shared waste containers and compactors among businesses to reduce the number of containers in downtown and their negative aesthetic, olfactive and circulation impacts.

75on2nd incorporates sustainable planning and design through the use of durable materials that are locally sourced and require minimal maintenance, such as exposed integrally colored masonry, cast in place board formed concrete, locally manufactured aluminum siding, and integrally colored stucco,



75on2nd incorporates green building strategies through the use of building orientation, solar shading, landscaping, recessed and covered balconies, and large overhangs. The development anticipates achieving a high level of sustainability, incorporating highly efficient mechanical systems, low flow plumbing fixtures, LED lighting throughout and Energy Star rated appliances.

75on2nd is located on an underutilized site in a prime location with all utility and transportation infrastructure in place. As an infill redevelopment project, 75on2nd will provide revitalization and more productive use for this core area of Scottsdale.

Solid waste collection is provided with shared containers located out of sight off the existing alley.

#### **GOAL CD 11**

INFRASTRUCTURE DESIGN SHOULD POSITIVELY CONTRIBUTE TO OLD TOWN IDENTITY.

##### **Policy CD 11.2**

Develop infrastructure improvements that positively impact the aesthetic and mobility aspects of the pedestrian environment.

##### **Policy CD 11.3**

Underground overhead utilities, when physically and economically feasible, to reduce the negative visual impacts in the downtown.

##### **Policy CD 11.4**

Minimize the aesthetic and circulation impacts of power and communication system equipment located in rights-of-way.

A driveway currently serving the existing office building from 2nd street will be removed and replaced with a new sidewalk segment, associated landscape improvements and on street parallel parking, improving the sidewalk aesthetic and pedestrian experience along the street.

Any existing overhead utilities services within the property ROW will be removed and all new utility services will be placed underground. All new power and communication equipment will be located off the existing alley, out of public view.

#### **ECONOMIC VITALITY**

#### **GOAL EV 2**

PROMOTE PRIVATE INVESTMENT IN, AND ATTRACT NEW DEVELOPMENT TO, OLD TOWN.

##### **Policy EV 2.1**

Encourage investment in residential and commercial development that ensures Old Town's economic competitiveness regionally and nationally.

##### **Policy EV 2.2**

Promote a mix of daytime/nighttime activities year-round through residential and commercial development in Old Town.

##### **Policy EV 2.8**

Recognize that talent is a critical component of business location decisions and enhance Old Town's quality of life amenities and housing choices, to appeal to a skilled workforce.

75on2nd is a unique high-quality boutique apartment project that provides an attractive alternative to the typical large-scale apartment complex, that will attract young professionals to the area. New residents will support nearby services 24/7 and help energize the surrounding area.



## **Downtown Scottsdale – Urban Design & Architectural Guidelines**

The primary purpose of these Guidelines is to influence the general character of new projects so Downtown will preserve its present qualities as it develops.

Below is an outline of how the proposed project aligns with and reinforces some of the key goals and policies of the Guidelines

### **A. SITE DEVELOPMENT**

#### **A1. RELATIONSHIP OF NEW TO EXISTING DEVELOPMENT**

- All development proposals should show evidence of coordination with the site plan, arrangement of building forms and landscape design and facade patterns of neighboring properties. New buildings must coexist with their neighbors. While a firm rule is not possible, every new proposal must demonstrate it has considered the contextual influences of neighboring properties and has made a diligent effort to orchestrate careful relationships between new and old

The property is adjacent to mixed-use, residential, commercial and civic properties of varying age, character, condition, scale and density. The site plan and building form have been carefully articulated to coordinate with and respect neighboring properties. The building height steps down from 4 story in the middle to 3 story on the East and West to properly transition to adjacent properties. The 4-story portion of the building is set back further from the street and buffered by a single-story gym building and outdoor amenity spaces. While no side yard setback is required by ordinance, a 20-foot landscape buffer is provided on the East side of the building, respecting our single-family office residential neighbor. Color and materials have also been carefully selected to complement the existing context. The main building color closely matches that of the Scottsdale Library across the street to the East. The woodgrain siding at the corner building element closely matches that of The Clayton House across the street to the South, as do the stucco accents, exposed CMU block, and cast-in place board formed concrete site walls.

#### **A4. PARKING FACILITIES**

- Minimize the visual impact of parking structures and parking lots by locating them at the rear or interior portions of building sites.
- Parking access from alleys and side streets is desired. The number of entrances to parking facilities from other streets, especially major arterials, should be kept to a minimum.

All of the required parking will be provided in a ground level parking garage accessed from the existing alley. There is no driveway entrance from either street, and the parking garage is screened from the street by the residential amenity areas provided.

#### **A5. BUILDING EQUIPMENT AND SERVICES**

- Locate service and loading zones to minimize visibility from public streets.
- On Downtown building sites served by the alley system, locate all serve-delivery entrances, loading docks and refuse collection facilities in the alley area.

All building services are located off the existing alley. Mechanical equipment is located on the roof, screened by the building parapets. Electrical services are located inside the parking garage.

#### **A8. THE CONTINUITY OF STREET SPACES**

- Buildings should create consistent street setback patterns by locating a maximum amount of their front elevation on the setback line.
- The preferred building-street relationship is to place buildings parallel to the street.

#### **Corner Buildings**

Corner buildings should make a strong tie to the building lines of each street.



The building is placed parallel to both streets and located at the minimum or prevailing setback in conformance with the Scottsdale Zoning Ordinance for Downtown. A strong corner element is provided emphasizing the main building entry and ground floor office use.

#### **A9. THE BUILDING SETBACK ZONE**

- The building setback zone should be developed as a "patio" landscape designed primarily for pedestrian activity and enjoyment.
- The planting plan along street edges should be linear and rhythmic with occasional contrasts and accents.
- Trees scaled and located to create shade for pedestrians and for appreciation by passing motorists.

The building setback zone incorporates outdoor patios and amenity spaces for residents and visitors, creating a gathering place that fosters social interaction. Landscaping along both streets will continue the linear and rhythmic theme established by The Clayton House across the street to the South. Shade trees with large canopies are strategically placed to provide maximum shade coverage along Pedestrian walkways. Understory plantings have been selected to provide seasonal interest with a variety of bloom periods.

#### **B. BUILDING FORM**

##### **B1. REDUCTION OF APPARENT SIZE AND BULK**

Downtown buildings of three or more stories should be designed as carefully-orchestrated compositions of smaller parts. Every building should reduce its perceived height and bulk by dividing the building mass into smaller-scale components. Large or long continuous wall planes should be avoided. As a general principle, building surfaces over two stories high or 50 feet in length should be relieved with a change of wall plane that provides strong shadow and visual interest.

The building form is extruded, recessed and stepped in both the horizontal and vertical planes, providing relief, visual interest and a multitude of separately identifiable components. The stacked masonry concealing the parking garage from view forms a strong base to the building and is enhanced with a sculptural pattern of protruded blocks that form an interesting shadow pattern along the wall both day and night. The building height is varied from one, to three and four stories. The 3 story portions on the East and West provide transition to adjacent buildings, while the 4-story portion in the middle is recessed back from the street to reduce its perceived height and bulk.

##### **B2. COMPOSITION OF RECESSES AND PROJECTIONS**

Recesses and projections are encouraged to divide horizontal planes of the building into smaller-scale elements and to produce strong areas of shade and shadow.

- Recesses may be used to define courtyards, entries or other outdoor spaces along the perimeter of the building. Recessed courtyard to divide building mass into smaller parts
- Recessed balconies, porches and loggias create a sense of depth in the building wall, contrasting surfaces exposed to the sun with those in the shadow. The strong, alternating light and dark pattern is a distinctive quality of regional architecture in the Southwest.
- Projections may be used to emphasize important architectural elements such as entrances, bays, stair towers, balconies and verandas.

The center 4 story portion of the building is recessed to provide for the outdoor pool amenity area. Large balconies are both recessed and extruded from the building mass, creating an interplay of light and shadow, that is further enhanced by change in color and materials. The stair towers anchor the building components and break up the overall mass by forming a strong vertical element, in an otherwise horizontal composition.



## **C. ARCHITECTURAL CHARACTER**

### **C1. PROPORTION AND SCALE**

- Building proportions with horizontal emphasis are generally desired.
- It is desirable that the spacing of elements in facades be varied rather than repetitive. Avoid repetitive proportions. Varied proportions encouraged.

The large balconies create a horizontal emphasis to the building proportions. The building mass is extruded, recessed and stepped in both the horizontal and vertical planes, providing relief, visual interest and a multitude of separately identifiable components of varied proportions.

### **C2. BUILDING MATERIALS**

- Restraint should be used in the number of different building materials selected. Simplicity of palette is desired.
- Building materials similar to those in predominant use on the street or in the district of the new project are encouraged.

### **C3. COLOR AND TEXTURE**

- Building colors should emphasize light and muted colors, with light earth tones dominant.
- Color selection should show evidence of coordination with the predominant use of color on the street and district of the new project.

Color and materials have been carefully selected to complement the architectural design and the existing context. The main building stucco/color closely matches that of the Scottsdale Library across the street to the East. The woodgrain siding at ground level and corner element closely matches that of The Clayton House across the street to the South, as do the stucco accents, exposed CMU block and board formed concrete site walls.

### **C3. ARCHITECTURAL DETAIL - BALCONIES**

Balconies provide space for outdoor activity and are often helpful to give scale to a building wall. They provide an element of human size which can effectively contrast with the solid, massive character of a wall.

Large deep balconies are a very important component of the design and building character. All of the units fronting the streets have more or less continuous 8' deep balconies along the entire unit. Averaging 2-300 SF, these balconies become outdoor living extensions of the units, that are sure to be frequently utilized by residents.

## **D. LANDSCAPE CHARACTER**

### **D1. STREETS**

- Plants, street furniture, paving, and other landscape elements should be organized along streets to create a unified civic appearance. The materials and layout of these elements should conform to City standards.
- A safe comfortable pedestrian environment should be created as a result of creative street frontage design. Give primary consideration to provision of ample shade, special paving, and buffer between the street and walking space.

The landscaping for the development will be in conformance with city standards and approved palette. Landscaping along the streets will continue the theme established by The Clayton House across the street to the South. This will create a unified landscape character for a significant stretch on both sides of the street. To better the pedestrian experience, the sidewalk along 75<sup>th</sup> Street has been detached and widened, and a landscape buffer has been added between the street and the sidewalk.



## Scottsdale's Sensitive Design Principles

The proposed development will embrace and implement the following Sensitive Design Principles, that improve and reinforce the quality of design in the community:

1. The design character of any area should be enhanced and strengthened by new development.  
The design compliments and significantly enhances the existing urban fabric of the surrounding area. The street side perimeter incorporates outdoor patios and amenity spaces for residents and visitors. Color and materials have been carefully selected to complement the existing context, as well as to provide a unique identity.
5. The design of the public realm, including streetscapes, parks, plazas and civic amenities, is an opportunity to provide identity to the community and to convey its design expectations.  
The building has a demanding, yet sophisticated street presence that will provide a unique and attractive streetscape. The proposed project is a natural fit and compliments the fabric of existing land uses found within the area. The proposed development will promote an integrated, sustainable character for the area with a strong live, work and play component.
6. Developments should integrate alternative modes of transportation, including bicycles and bus access, within the pedestrian network that encourage social contact and interaction within the community.  
The site is located within close proximity to abundant retail, restaurant and services, to create a sustainable, walk friendly environment that takes advantage of the huge employment and service base in the vicinity of the property. The design encourages residents to walk, bike and utilize transit opportunities. The adjacent streets provide a framework for pedestrian and bicycle connections between the project and other surrounding land uses.
7. Development should show consideration for the pedestrian by providing landscaping and shading elements as well as inviting access connections to adjacent developments.  
The design provides elements that cater to the pedestrian through the use of building character, connectivity, landscaping, hardscape, and lighting. Landscaping along the streets will continue the theme established by The Clayton House across the street to the South. This will create a unified landscape character for a significant stretch on both sides of the street. To better the pedestrian experience, the sidewalk along 75<sup>th</sup> Street has been detached and widened, and a landscape buffer has been added between the street and the sidewalk.
8. Buildings should be designed with a logical hierarchy of masses:
  - To control the visual impact of a building's height and size  
The building mass is designed with a hierarchy of one-, three- and four-story building components. The 4-story portion of the building is set back further from the street and buffered by a single-story gym building and outdoor amenity spaces. The building height steps down from 4 story in the middle to 3 story on the East and West to properly transition to adjacent properties. While no side yard setback is required by ordinance, a 20-foot landscape buffer is provided on the East side of the building, respecting our single-family office residential neighbor
9. The design of the built environment should respond to the desert environment:
  - Interior spaces should be extended into the outdoors both physically and visually when appropriate  
Large and deep balconies are a very important component of the design and building character. All of the units fronting the streets have more or less continuous 8' deep balconies along the entire unit. Averaging 2-300 SF, these balconies become outdoor living extensions of the units.



- A variety of textures and natural materials should be used to provide visual interest and richness, particularly at the pedestrian level. Materials should be used honestly and reflect their inherent qualities

Color and materials have been carefully selected to complement the architectural design and the existing context, using a variety of materials and textures. The main building stucco/color closely matches that of the Scottsdale Library across the street to the East. The woodgrain siding at ground level and corner element closely matches that of The Clayton House across the street to the South, as do the stucco accents, exposed CMU block and board formed concrete site walls. By principal the design is void of all arbitrary applied ornamentation, striving towards simplicity, honesty and clarity of form and beauty. Protruding shadow blocks are used to create sculptural patterns that add visual interest at the pedestrian level.

10. Developments should strive to incorporate sustainable and healthy building practices and products.

The development anticipates achieving a high level of sustainability, utilizing recognized green building features. The building and unit design will incorporate highly efficient mechanical systems, low flow plumbing fixtures, LED lighting throughout and Energy Star rated appliances

Sustainable building practices include the use of durable materials that are locally sourced and require minimal maintenance, such as exposed integrally colored masonry, cast in place board formed concrete, locally manufactured aluminum siding, and integrally colored stucco,

13. The extent and quality of lighting should be integrally designed as part of the built environment.

Exterior lighting has been carefully integrated into the architecture, providing ambiance, identity and safety to residents and visitors alike.

The lighting is carefully designed to minimize glare and intrusion into neighboring property and the dark sky above. The existing streetlights provide safe passage for pedestrians along the street sidewalks. Safety and security lights are provided along the existing alley. Up/down accent lighting is provided at the balconies. All on site lighting is energy efficient LED with consistent 3000K color throughout. Wall grazing accent lighting is provided to accentuate the verticality and shadow reliefs of the two stairwells along 2<sup>nd</sup> street. Additionally, low voltage landscape lighting will be provided throughout to accent and enhance all the landscaping, as well as uplight and accentuate the shadow relief blocks of the sculptural masonry garage walls.

14. Signage should consider the distinctive qualities and character of the surrounding context in terms of size, color, location and illumination.

- Signage should be designed to be complementary to the architecture, landscaping and design theme for the site, with due consideration for visibility and legibility.

The main project identification signs compliment and are an integral part of the architectural design.



## **Development Review Board Criteria**

### **Ordinances, Master Plans, General Plan, and Standards**

Describe how the proposed development will comply with the design and character elements of the General Plan, the appropriate character area plan, all applicable city-wide master plans, the zoning ordinance development standards, the Design Standards and Policies Manual, all applicable city-wide design guidelines, and the appropriate Master Environmental Design Concept Plan.

#### **Scottsdale General Plan**

The proposed development will comply with the 2001 General Plan as previously outlined in Section II.

#### **Old Town Scottsdale Character Area Plan**

The proposed development will comply with the Old Town Scottsdale Character Area Plan, as previously outlined in Section III.

#### **Scottsdale Zoning Ordinance**

The proposed development will comply with the development standards of the D/MU-2 zoning designation.

#### **Scottsdale Design Standards and Policies Manual**

The proposed development will comply with all relevant sections of the Scottsdale Design Standards and Policies Manual

#### **Downtown Plan Urban Design & Architectural Guidelines**

The proposed development will comply with the Downtown Plan Urban Design & Architectural Guidelines as previously outlined in Section IV.

#### **Scottsdale Sensitive Design Principals**

The proposed development will comply with the Scottsdale Sensitive Design Principals as previously outlined in Section V.

### **Architectural Character, Landscaping, and Site Design**

Explain how the proposed development has been designed so that it:

- Promotes a desirable relationship of structures to one another, to open spaces and topography, both on the site and in the surrounding neighborhood;

The property is adjacent to mixed-use, residential, commercial and civic properties of varying age, character, condition, scale and density. The site plan and building form have been carefully articulated to coordinate with and respect neighboring properties. The building height steps down from 4 story in the middle to 3 story on the East and West to properly transition to adjacent properties. The 4-story portion of the building is set back further from the street and buffered by a single-story gym building and outdoor amenity spaces. While no side yard setback is required by ordinance, a 20-foot landscape buffer is provided on the East side of the building, respecting our single-family office residential neighbor. Color and materials have also been carefully selected to complement the existing context. The main building color closely matches that of the Scottsdale Library across the street to the East. The woodgrain siding at ground level and corner element closely matches that of The Clayton House across the street to the South, as do the stucco accents, exposed CMU block, and cast-in place board formed concrete site walls

- Avoids excessive variety and monotonous repetition;

By principal of design, the building is void of all arbitrary ornamentation, striving for simplicity of style and honest expression of materials and building functions. The building mass is extruded, recessed and stepped in both the horizontal and vertical planes, providing relief, visual interest and a multitude of separately identifiable components, forming a balanced composition that expresses the form and functionality of its components. The building design along with the associated hardscape and landscape improvements provide a visually interesting and comfortable walking experience along the building frontage, enhanced by a variety of building materials, textures and sculptural shadow patterns.



- Recognizes the unique climatic and other environmental factors of this region to respond to the Sonoran Desert environment, as specified in the Sensitive Design Principles;  
The proposed development will comply with the Scottsdale Sensitive Design Principles as previously outlined in Section V.

#### **Ingress, Egress, On-Site Circulation, Parking, and Pedestrians**

Describe how the site layout of the proposed development has been designed to promote safety and convenience, relative to ingress, egress, internal traffic circulation, off-street parking facilities, loading and service areas, and pedestrian ways.

All of the required parking will be provided in a ground level parking garage accessed only from the existing alley. There is no driveway entrance from either street, providing a safe contiguous sidewalk along the entire street frontage.

#### **Mechanical and Utility Equipment**

Describe how the proposed development will locate mechanical equipment, appurtenances, and utilities so that these elements will not conflict with street frontage open space, pedestrian amenities, resident amenities, landscape features, or on-site circulation, and has utilized screening devices that are integral to the design of the building, in order to screen mechanical equipment, appurtenances and utilities.

All building services are located off the existing alley. Mechanical equipment is located on the roof, screened by the building parapets. Electrical services are located inside the parking garage.

#### **Downtown Area**

If the development proposal is within the Downtown Area, explain how the proposed development:

- Demonstrates conformance with the Downtown Plan Urban Design & Architectural Guidelines;  
The proposed development will comply with the Old Town Scottsdale Character Area Plan, as previously outlined in Section III, as well as the Downtown Plan Urban Design & Architectural Guidelines as previously outlined in Section IV.

- Incorporates urban and architectural design that address human scale and incorporates a pedestrian-oriented environment at the street level;

The street side perimeter incorporates outdoor patios and amenity spaces for residents and visitors, creating a gathering place that fosters social interaction. A large open deck is also provided on the 2<sup>nd</sup> floor above the gym, that fronts on the street. To better the pedestrian experience, the sidewalk along 75<sup>th</sup> Street has been detached and widened, and a landscape buffer has been added between the street and the sidewalk. Large trees provide shade along the public sidewalks, and built in site walls serve as seating areas.

- Reflects contemporary and historic interpretations of Sonoran Desert architectural traditions, by subdividing the overall massing into smaller elements, expressing small scale details, and recessing fenestrations;

The building form is extruded, recessed and stepped in both the horizontal and vertical planes, providing relief, visual interest and a multitude of separately identifiable components. The stacked masonry concealing the parking garage from view forms a strong base to the building and is enhanced with a sculptural pattern of protruded blocks that form an interesting shadow pattern along the wall both day and night. The building height is varied from one, to three and four stories. The 3 story portions on the East and West provide transition to adjacent buildings, while the 4-story portion in the middle is recessed back from the street to reduce its perceived height and bulk.

- Reflects the design features and materials of the urban neighborhoods in which the development is located; and

- Integrates building mass, height, materials, and intensity transitions between adjacent/abutting Type 1 and Type 2 Areas, and adjacent/abutting Type 2 Areas and existing development outside the Downtown Area.

The property is adjacent to mixed-use, residential, commercial and civic properties of varying age, character, condition, scale and density. As previously described, the building mass, height, materials and colors have been carefully selected to complement the existing context, as well as to provide a unique identity for the project.



## Conclusion

In summary, this request is for a rezoning of 4 parcels from **D/OR-2 DO** (Downtown/Office Residential – Type 2 Downtown Overlay) and **S-R DO** (Service Residential Downtown Overlay), to **D/DMU-2 DO** (Downtown / Downtown Mixed-Use Type 2 Downtown Overlay) on approximately 1.1 Gross acre site, located on the Northeast corner of 75<sup>th</sup> Street and 2<sup>nd</sup> Street, in the Civic Center District of Old Town Scottsdale.

The current zoning would allow for the proposed density of the proposed project, but a rezone is required to increase the allowable height on the OR zoned portion of the site.

This proposed project will include 39 living units, in a 3 and 4 story building with associated amenity areas included at ground level along the Street frontage. The project will include a mix of 1- and 2-bedroom units, ranging in size from 750-1400 SF. All of the required parking will be provided in a ground level parking garage accessed from the existing alley.

The proposed development achieves a wide range of goals including revitalizing an underutilized property, integrating high-quality, high-design, vibrant architecture and site planning to the area, and creating pedestrian synergy that will complement the surrounding land uses, and contribute to the live/work/play land use balance promoted by the Old Town Scottsdale Character Area Plan.

The development of this site will continue the revitalization of the surrounding community and provide attractive new housing options. It will also be a catalyst for future redevelopment in the area. Reinvestment and redevelopment in this mature area of the City is critical to its future success.

The surrounding restaurant, retail, service, and employment core will benefit from this development, and provide an attraction for future residents.

Concurrent with the Re-Zoning we are requesting Development Review Board Approval of the proposed project.

The development team is committed to delivering a sustainable development that will enrich and revitalize the character and success of the surrounding area and of the City of Scottsdale in general.

This application includes a range of exhibit including the site plan, elevations, perspective views, and landscape plans that demonstrate the character and high-level of design proposed for this site.





1 3D View - from SW  
1/2" = 1'-0"



2 3D View - from NW  
1/2" = 1'-0"

#### SHEET INDEX

A0.1 Cover sheet  
A0.2 Context Aerial

#### Survey

A5.1 ALTA SURVEY  
A5.2 ALTA SURVEY

#### Utility

C1 Conceptual Cover Sheet  
C2 Conceptual Grading and Drainage Plan  
C3 Conceptual Utility Plan

#### Landscape

L.1 Preliminary Landscape Plan  
L.2 Preliminary Landscape Plan - Lighting

#### Architectural

A1.1 Site Plan  
A1.2 Site Plan - Worksheet  
A2.1 1st / Ground Floor Plan  
A2.2 2nd Floor Plan  
A2.3 3rd Floor Plan  
A2.4 4th Floor Plan  
A2.5 Roof Plan  
A3.1 Exterior Elevations  
A3.2 Exterior Elevations  
A3.3 Exterior Elevations - Worksheet  
A4 Building Sections  
A5 Renderings

E0.1-4 Photometrics and Light Fixture Cut Sheets

#### APPLICANT / ARCHITECT

Company K&I HOMES, LLC  
Address 6125 E Indian School Rd #2005  
SCOTTSDALE, AZ 85251  
Phone Number 802-505-2525  
Contact KRISTIAN SIGURDSSON

#### OWNER / DEVELOPER

Company CLAYTON 12TH STREET, LLC  
Address 7345 E MAIN ST #300  
SCOTTSDALE, AZ 85251  
Phone Number 480-941-2280  
Contact MAX FREHREL

K&I HOMES, LLC

4125 E INDIAN SCHOOL RD  
SUITE 2005  
SCOTTSDALE, AZ 85251  
PH: 802-505-2525



Clayton

75 on 2nd  
7502 East 2nd Street  
Scottsdale, AZ

#### Revisions

| # | Description | Date |
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JOB NUMBER: 1800

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ISSUE DATE: 5/1/2019



SHEET TITLE

Cover Sheet

SHEET NUMBER:

A0.1

ReZone2 - Design  
Review1

2-ZN-2019  
05/10/2019





1 Site Plan - Aerial Overlay  
1" = 80'-0"

SCALE: 0' - 1" = 80' - 0"  
0' 40' 80' 160' - 0'



K & I HOMES, LLC

6128 E. KODAK BOULEVARD  
SUITE 200  
SCOTTSDALE, AZ 85261  
PH: 602-509-5028



Clayton

75 on 2nd  
7502 East 2nd Street  
Scottsdale, AZ

Revisions

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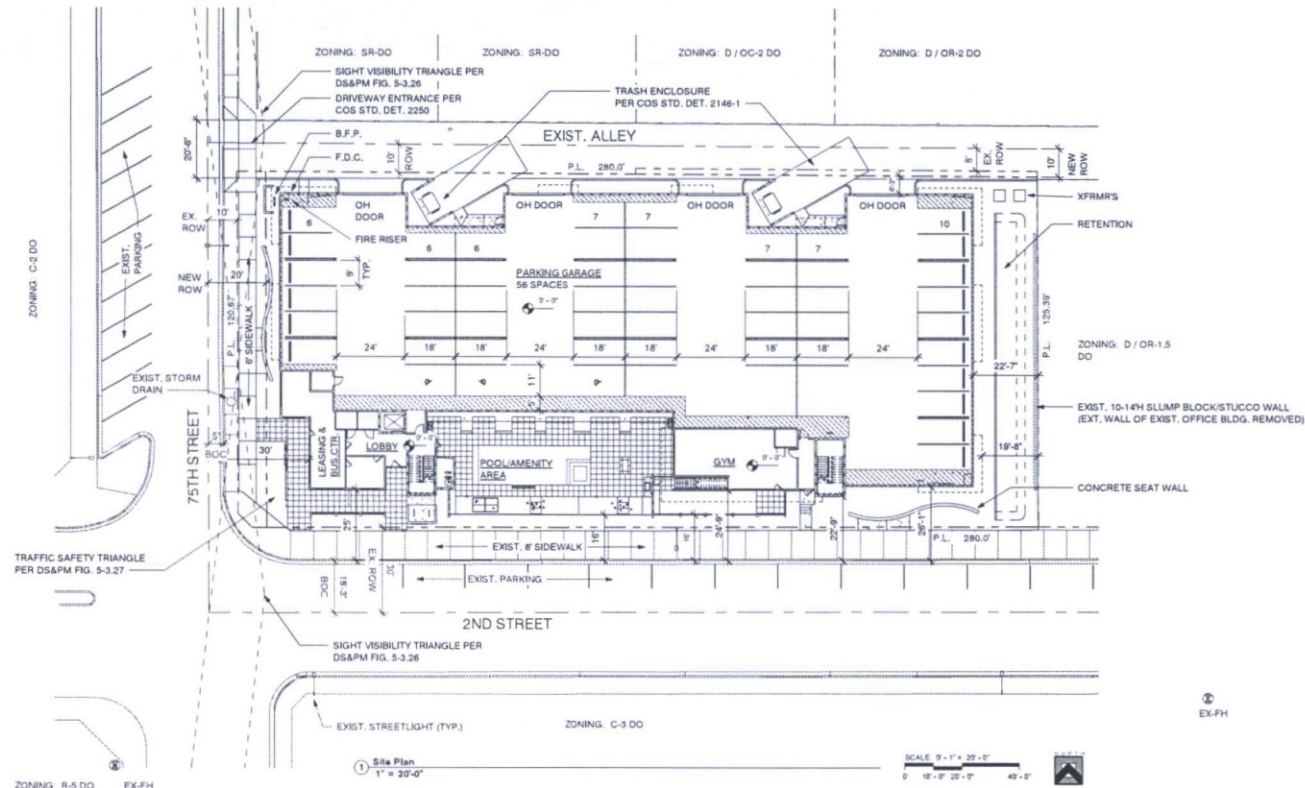
SHEET TITLE:  
Context Aerial

SHEET NUMBER:

A0.2

ReZone2 - Design  
Review1





## GENERAL NOTES - SCOTTSDALE REVISED CODE

- IN ACCORDANCE WITH SEC. 47-80 ALL ELECTRIC AND COMMUNICATIONS LINES INSTALLED IN THE RIGHT-OF-WAY SHALL BE INSTALLED UNDERGROUND, EXCEPT ELECTRIC LINES EQUAL TO OR GREATER THAN 12.5KVA CAPACITY

## PROJECT INFO

|  |  |
|--|--|
| <b>PROJECT NAME:</b>                                 | 75 on 2nd  |
| <b>SITE ADDRESS:</b>                                 | 7502 E. 2ND STREET   |
| <b>PROPOSED USE / SCOPE:</b>                         | 3 & 4 STORY BOUTIQUE APARTMENT BUILDING WITH 39 UNITS            |
| <b>PARCEL #/S:</b>                                   | LOTS 10-11 130-25-028B / 130-25-028A / 130-25-030A / 130-25-031A |
| <b>PARCEL SIZE:</b>                                  | NET SITE AREA +/-<br>47.560 SF = 0.89 ACRES                      |
| <b>GROSS SITE AREA +/-:</b>                          | 47.560 SF = 1.39 ACRES   |
| <b>CURRENT ZONING:</b>                               | LOTS 10-11 D / OR-2 DO<br>LOTS 12-13 S-R DO                      |
| <b>PROPOSED ZONING:</b>                              | DMU-2 DO   |
| <b>DWELLING UNIT DENSITY:</b>                        | 39 DU/1.09 AC = 36 50 MAX. ALLOWED                               |
| <b>BUILDING HEIGHT:</b>                              | 4 STORIES / 50' 66' MAX. ALLOWED                                 |
| <b>LOT COVERAGE (NET SITE AREA):</b>                 | 20,002 SF/34,960 SF = 62.9 %                                     |
| <b>CONSTRUCTION TYPE:</b>                            | V-A FULLY SPRINKLERED  |
| <b>BUILDING FLOOR AREA:</b>                          | GROSS SF   |
| <b>FLOOR OCCUPANCY DESCRIPTION ACTUAL FLOOR AREA</b> |  |
| GROUND FLOOR R-2 / B / S-2                           | MIXED-USE 20,002 SF  |
| 2ND FLOOR R-2  | APARTMENTS 18,945 SF   |
| 3RD FLOOR R-2  | APARTMENTS 18,945 SF   |
| 4TH FLOOR R-2  | APARTMENTS 18,945 SF   |
| TOTAL  | 70,775 SF  |

FLOOR AREA RATIO: 51,429 / 34,960 = 1.47  
 GFAR: 2,666 / 47,560 = 0.06 1.3 MAX. ALLOWED

**FIRE SPRINKLERS:** YES FULL NFPA 13 & 13R

## OCCUPANCY GROUP:

PARKING GARAGE S-2  
 LEASING & GYM B  
 APARTMENTS R-2

**UNIT MIX:** 23 - 1 BED / 1.5 BATH & 16 - 2 BED / 2.5 BATH = 39 UNITS TOTAL

**OPEN SPACE REQUIRED:** NONE

|                             |                      |           |
|-----------------------------|----------------------|-----------|
| <b>OPEN SPACE PROVIDED:</b> | FRONT OPEN SPACE +/- | 4,600 SF  |
|                             | AMENITY OPEN SPACE   | 4,450 SF  |
|                             | OTHER OPEN SPACE     | 2,250 SF  |
|                             | TOTAL OPEN SPACE +/- | 11,300 SF |

**PRIVATE OPEN SPACE REQUIRED:** 6' DEEP AND 60 SF MINIMUM EA. UNIT

**PRIVATE OPEN SPACE PROVIDED:** 8' DEEP TYPICAL UNIT  
 AREA RANGE 95 SF - 296 SF / AVE. AREA 189 SF

|  |                                      |
|--|--------------------------------------|
| <b>PARKING REQUIRED FOR RESIDENTIAL USE (7'-0" X 1'-0" MIN. SIZE PARKING SPACE):</b> |                                      |
| 1 BEDROOM UNITS  | 1.0 SP / UNIT = 23 x 1.0 = 23 SPACES |
| 2 BEDROOM UNITS  | 2.0 SP / UNIT = 16 x 2.0 = 32 SPACES |
| TOTAL PARKING REQUIRED   | 55 SPACES                            |

**ACCESSIBLE REQUIRED:** 4% OF TOTAL = 3 SPACES

**BIKE PARKING REQUIRED:** 2 / 10 REQ'D PARKING SPACES = 6

|                          |          |            |       |       |
|--------------------------|----------|------------|-------|-------|
| <b>PARKING PROVIDED:</b> | STANDARD | ACCESSIBLE | TOTAL | BIKES |
| PARKING GARAGE           | 53       | 3          | 56    | 8     |

## LEGAL DESCRIPTION

Lot 10, 11, 12, and 13, Block 2, of redeveloped manor, according to the plat of record in the office of the County Recorder of Maricopa County, Arizona, recorded in Book 49 of Maps, Page 27

To be combined into a single lot with a new FINAL PLAT

## VICINITY MAP



K&amp;I HOMES, LLC

1725 E. INDIAN SCHOOL, NO  
 SUITE 200, SCOTTSDALE, AZ 85251  
 PH: 480-459-8078



Clayton

75 on 2nd  
 7502 East 2nd Street  
 Scottsdale, AZ

## Revisions

| # | Description | Date |
|---|-------------|------|
|---|-------------|------|

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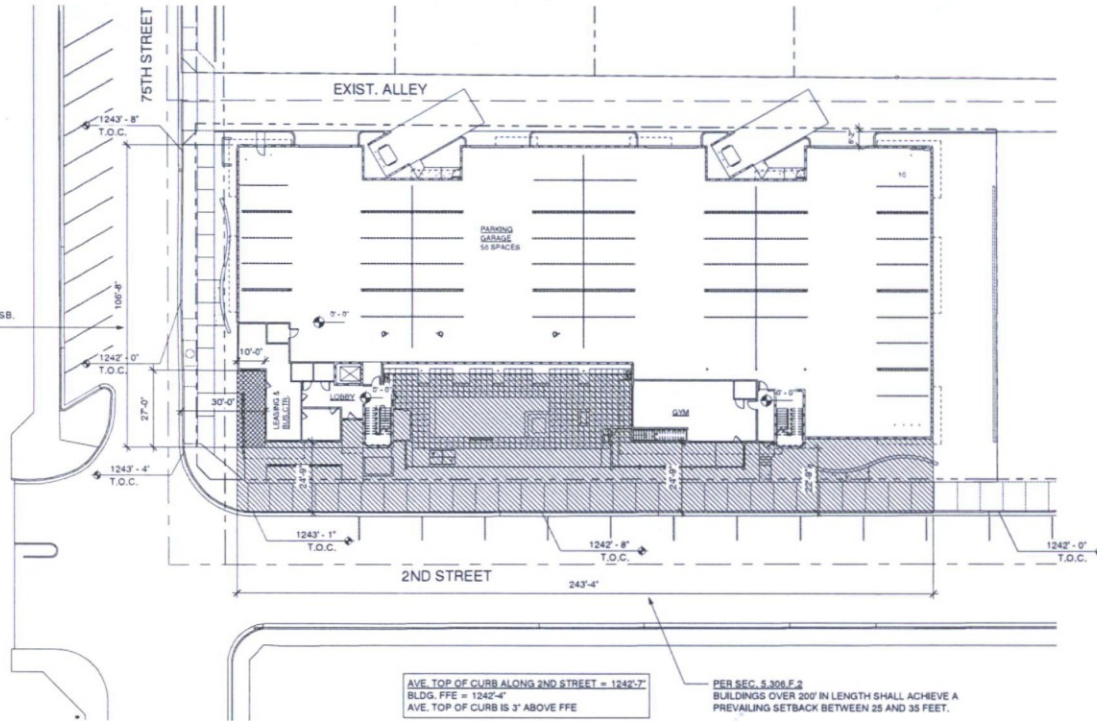
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 Review1



AVE. TOP OF CURB ALONG 75TH STREET = 1243'-0"  
BLDG. FFE = 1242'-4"  
AVE. TOP OF CURB IS 8" ABOVE FFE

PER SEC. 5.306.F.1.B.  
I. 74.7 % OF BUILDING LENGTH LOCATED AT MIN. SB.  
II. 25.3 % OF BUILDING FACADE SET BACK 10'



1 Site Plan - Worksheet  
1" = 20'-0"

AVE. TOP OF CURB ALONG 2ND STREET = 1242'-7"  
BLDG. FFE = 1242'-4"  
AVE. TOP OF CURB IS 3" ABOVE FFE

PER SEC. 5.306.F.2  
BUILDINGS OVER 200' IN LENGTH SHALL ACHIEVE A  
PREVAILING SETBACK BETWEEN 25 AND 35 FEET.  
PREVAILING SETBACK = 8,070 SF / 243'-4" = 33.16'

K & I HOMES, LLC

1125 E. INDIAN SCHOOL, RD  
SCOTTSDALE, AZ 85251  
PH: 602-496-2828



Clayton

75 on 2nd  
7502 East 2nd Street  
Scottsdale, AZ

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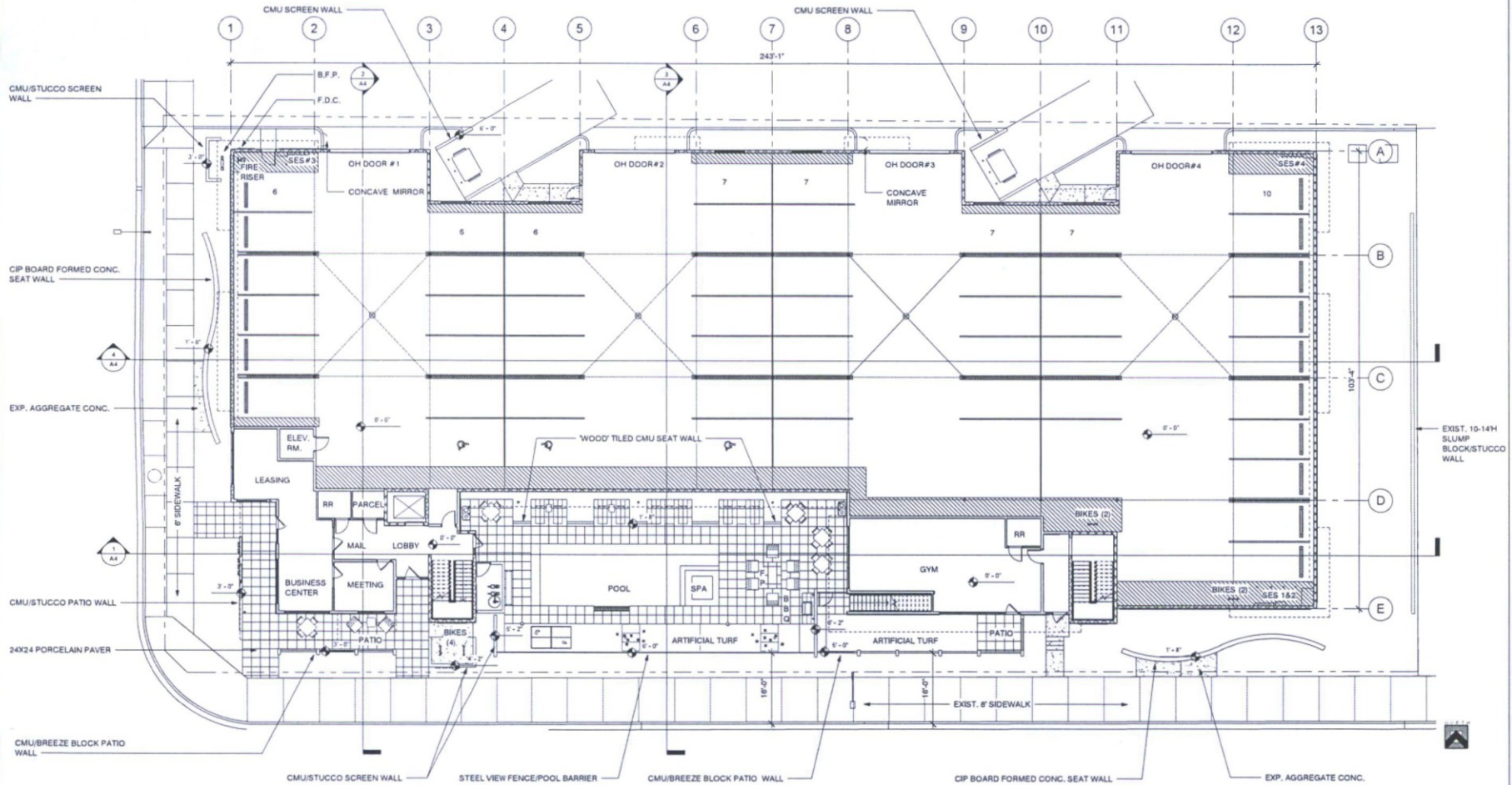
SHEET TITLE:  
Site Plan -  
Worksheet

SHEET NUMBER:  
A1.2

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Review1

2-ZN-2019  
05/10/2019





1st Floor / Hardscape Plan  
3/32" = 1'-0"

REFER TO EXTERIOR BUILDING ELEVATIONS SHEETS A3.1 & 3.2  
FOR SITE WALL ELEVATIONS MATERIAL AND FINISH

K & J HOMES, LLC

9175 E INDIAN SCHOOL RD  
SCOTTSDALE, AZ 85251  
PH: 602-499-2926



Clayton

75 on 2nd  
7502 East 2nd Street  
Scottsdale, AZ

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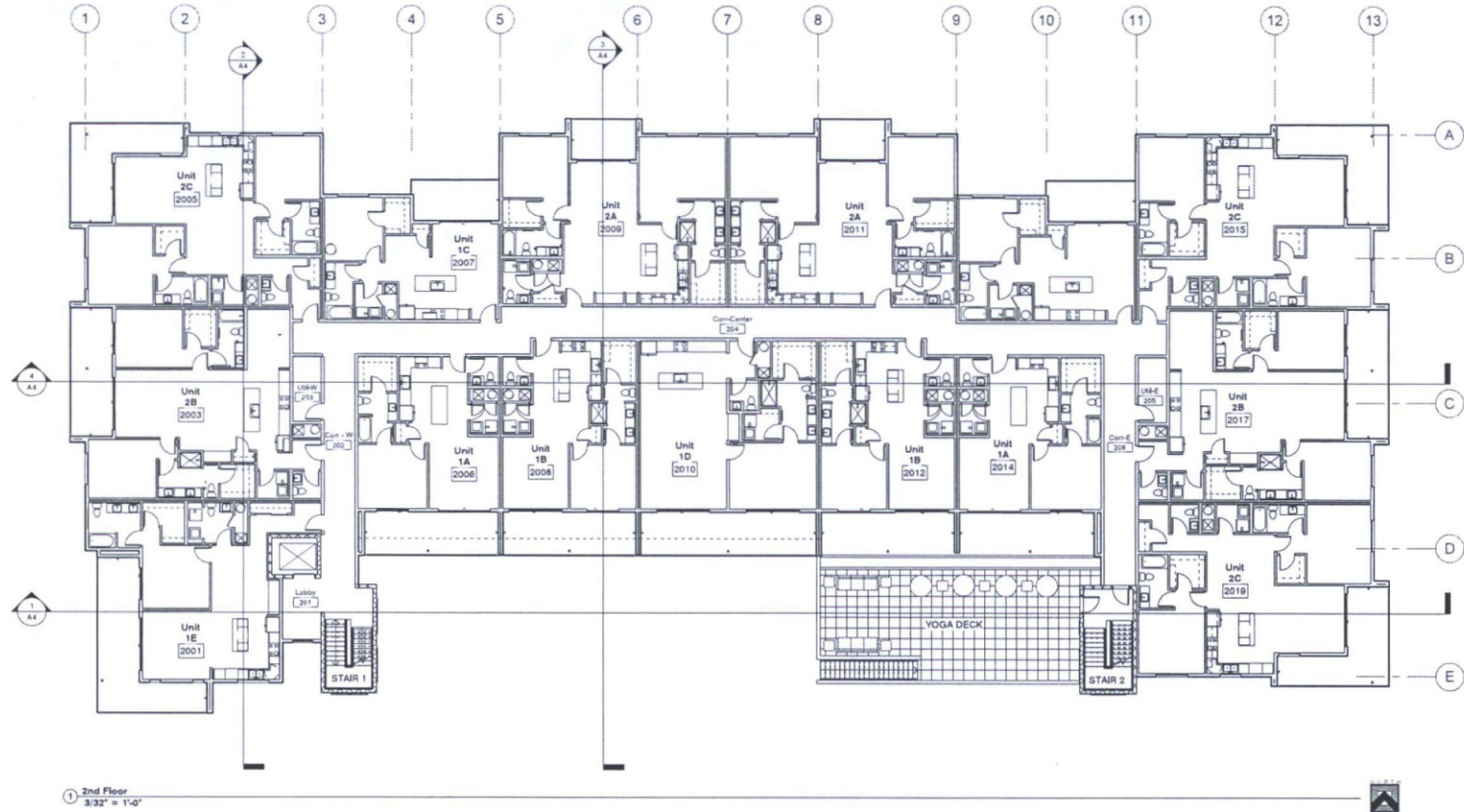


SHEET TITLE:  
1st Floor Plan /  
Hardscape Plan  
SHEET NUMBER:

A2.1

ReZone2 - Design  
Review 1





**2-ZN-2019**  
**05/10/2019**

**K & I HOMES, LLC**

8135 E. INDIAN SCHOOL, NO  
SUITE 2000  
SCOTTSDALE, AZ 85251  
PH: 602-955-2675



**Clayton**

**75 on 2nd**  
7502 East 2nd Street  
Scottsdale, AZ

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*K. Soudki*

SHEET TITLE:  
**2nd Floor Plan**

SHEET NUMBER:

**A2.2**

ReZone2 - Design  
Review1





### Average Unit Size and Ratios

Note:  
Gross Rentable Areas calculated from outside face (sheathing) of  
exterior wall

Net Unit Area calculated from inside face of finished walls (Paint to Paint)

Gross Building Areas Measured from outside face of exterior wall sheathing

| Floor     | Area   |
|-----------|--------|
| 1ST FLOOR | 22,002 |
| 2ND FLOOR | 18,945 |
| 3RD FLOOR | 18,945 |
| 4TH FLOOR | 10,873 |
| TOTAL     | 70,765 |

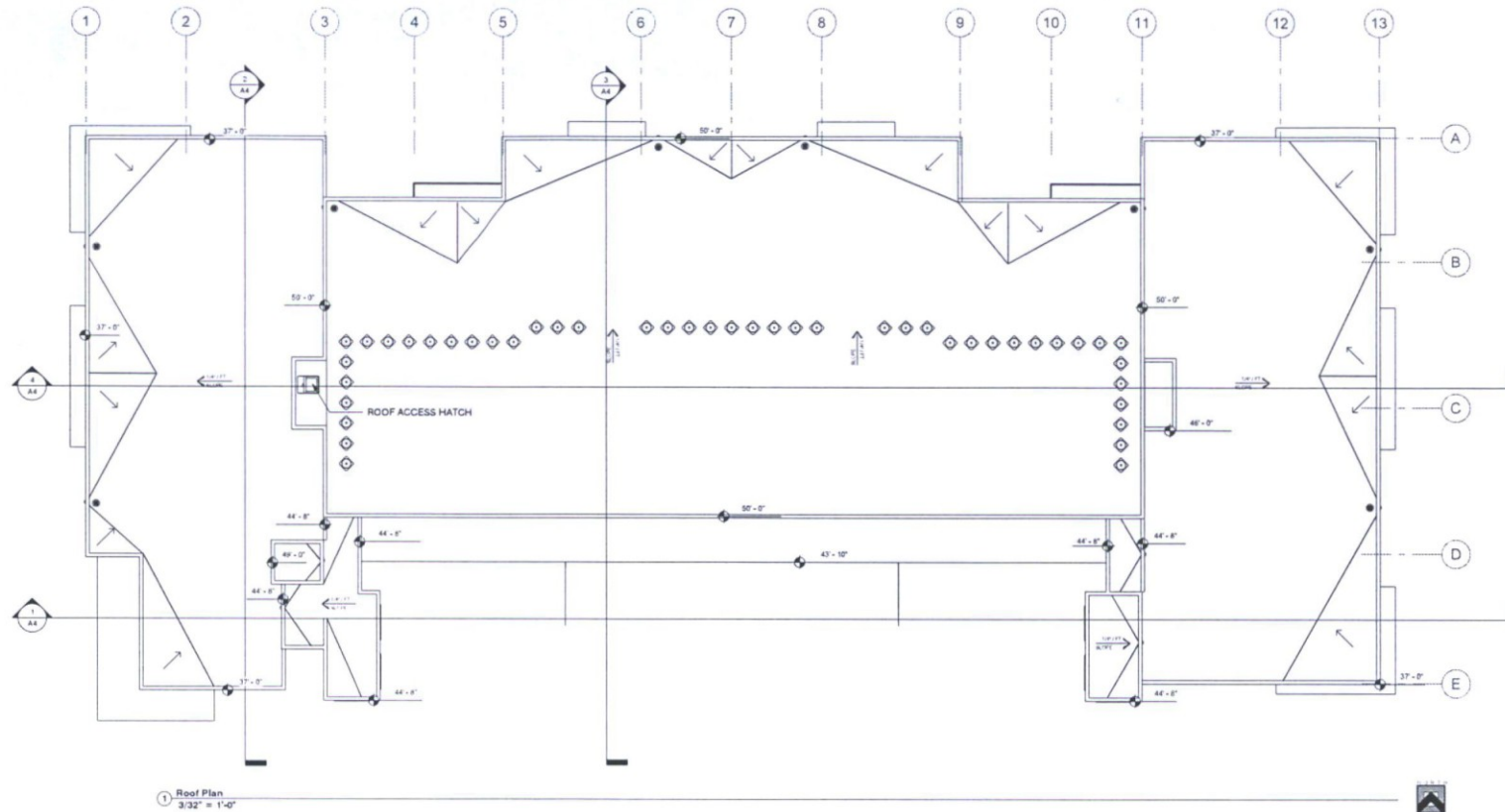
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**05/10/2019**





**2-ZN-2019**  
**05/10/2019**





- 1/4" = 1' ROOF SLOPE TO DRAIN 1/4" PER FOOT.
- ROOF CRICKET SLOPE TO DRAIN
- ROOF DRAIN AND OVERFLOW SCUPPER
- CONDENSING UNITS ON RAINED PLATFORM SCREENED BY BUILDING PARAPET
- 0' - 0" HEIGHT OF ELEMENT A.F.F. (2'-0")

**2-ZN-2019**  
**05/10/2019**

**K & I HOMES, LLC**  
4138 E. INDIAN SCHOOL RD  
SUITE 200  
SCOTTSDALE, AZ 85251  
PH: 602-405-2025



**Clayton**

**75 on 2nd**  
7502 East 2nd Street  
Scottsdale, AZ

| Revisions |             |      |
|-----------|-------------|------|
| #         | Description | Date |

OWNERSHIP OF DOCUMENTS  
I, the undersigned, hereby certify that the drawings and specifications herein are the work of my firm and that I am a duly licensed professional engineer in the State of Arizona. I am not aware of any fraud or error in these drawings or specifications. I am not aware of any fraud or error in these drawings or specifications. I am not aware of any fraud or error in these drawings or specifications.

JOB NUMBER: 1909  
DRAWN BY: KS  
CHECKED BY: KS  
ISSUE DATE: 5/10/2019



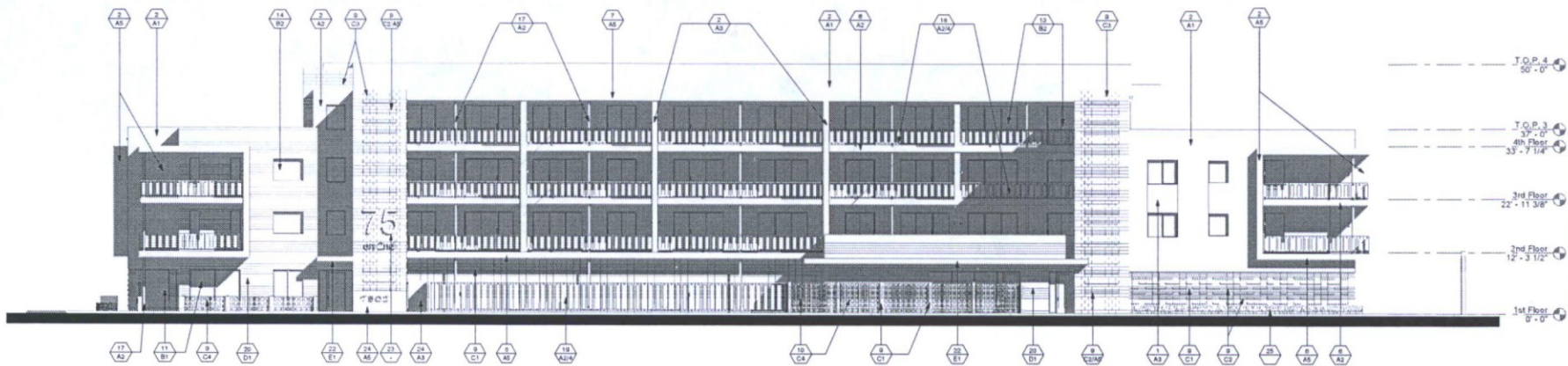
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**Roof Plan**

SHEET NUMBER:

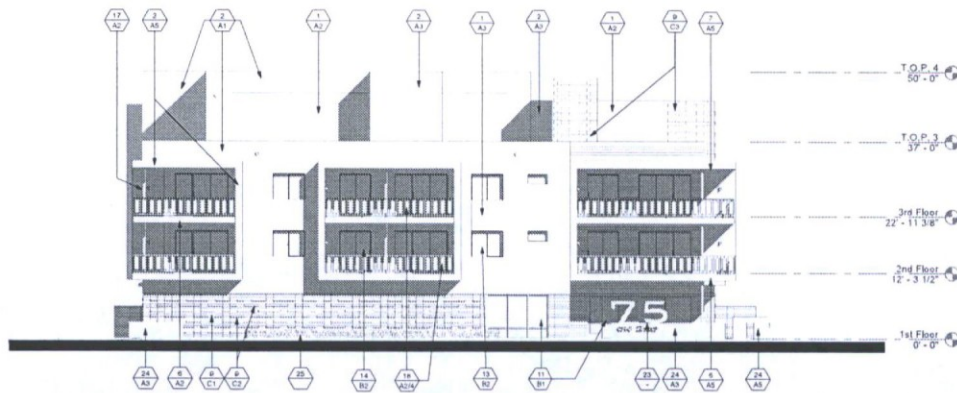
**A2.5**

ReZone2 - Design  
Review1





1 South Elevation  
1" = 10'-0"



2 West Elevation  
3/32" = 1'-0"

## MATERIAL / COLOR SCHEDULE

MATERIAL  
COLOR

### MATERIALS / KEY NOTES

1. STUCCO OVER PAPER BACKED METAL LATH ON EXT. GRADE PLYWOOD SHEATHING
2. STUCCO OVER METAL LATH AND 1" FOAM ON EXT. GRADE PLYWOOD SHEATHING
3. STUCCO OVER METAL LATH AND 1" FOAM OVER CMU
4. STUCCO CONTROL JOINT
5. BALCONY FACIA WITH METAL T-BAR AND STUCCO FINISH
6. ROOF OVERHANG - STUCCO FRONT FACIA AND UNDERSIDE
7. EXPOSED MASONRY - RUNNING BOND, RAKED JOINTS
8. DECORATIVE FENCE BLOCK PANEL - STACKED BOND
9. ALUMINUM STOREFRONT - FACTORY FINISH
10. ALUMINUM STOREFRONT / DOORS - SEE SCHEDULE
11. SLIDING ALUMINUM/GLASS PATIO DOORS - FACTORY FINISH
12. FIXED SINGLE SLIDING ALUMINUM WINDOW - FACTORY FINISH
13. HOLLOW METAL DOOR AND FRAME - PAINTED - SEE SCHEDULE
14. SECTIONAL GARAGE DOOR - FACTORY FINISH
15. STEEL COLUMN - PAINTED
16. TUBE STEEL RAILING/GUARDRAIL - PAINTED
17. TUBE STEEL VIEW / POOL FENCE - PAINTED
18. HORIZONTAL METAL SIDING
19. CMU REFUSE ENCLOSURE
20. STANDING SEAM METAL ROOF
21. BUILDING SIGNAGE - UNDER SEPARATE PERMIT AND SUBMITTAL
22. CMU SITE/SCREEN WALL WITH STUCCO FINISH
23. 12" CAST IN PLACE CONCRETE SEAT/SITE WALL
24. COLOR AND TEXTURE TO MATCH 'CLAYTON HOUSE'
- 25.

### GENERAL NOTES

1. STUCCO SYSTEM TO BE 'STO POWERWALL' OVER 1" INSULATION BOARD WITH 1/2" FINE INTEGRAL COLORED FINISH TO MATCH PAINT COLOR SPECIFIED. SYSTEM TO BE INSTALLED OVER STO GUARD WITH GOLD COAT WATER RESISTIVE BARRIER. PER THE FOLLOWING EVALUATION REPORTS:  
ESR-2323 STO POWERWALL STUCCO SYSTEM  
ESR-1233 STO GUARD WITH GOLD COAT WATER RESISTIVE BARRIERS - OR APPROVED EQUAL
2. STUCCO CONTROL JOINTS SHOWN AT TYPICAL LOCATIONS ONLY. PROVIDE ADDITIONAL CONTROL JOINTS AS MAY BE REQUIRED AND RECOMMENDED BY STUCCO MANUFACTURER. VERIFY LOCATION WITH ARCHITECT.
3. STUCCO CONTROL JOINTS TO BE PROVIDED SO THAT MAX. STUCCO PANEL SIZE IS 144' SF. WITH A WIDTH TO LENGTH RATIO OF 1:2 1/2. TYPICAL JOINT PLACEMENTS INCLUDE:  
- HORIZONTALLY AT EACH FLOOR LEVEL  
- VERTICALLY FROM CORNER OF SLIDING DOORS, WINDOWS AND BALCONIES
4. ALL CONTROL JOINTS & REVEALS TO TERMINATE ON INSIDE CORNERS ONLY.
5. PROVIDE SEALANT AT ALL STUCCO PENETRATIONS.
6. PAINT ALL EXTERIOR MOUNTED ELECTRICAL AND MECHANICAL PANELS/BOXES TO MATCH ADJACENT SURFACE OF THE BUILDING.
7. PAINT ALL VENTS, FLASHING, MISC. MATERIALS TO MATCH ADJ. BLDG. COLOR U.N.O.
8. ALL PAINT COLOR CHANGES TO TERMINATE ON INSIDE CORNERS ONLY.
9. PROVIDE 2" OR 4" SOLID CMU CAPS AT ALL EXPOSED CMU SITE WALLS
10. ALL EXPOSED DRYER AND EXHAUST VENTS TO BE ALIGNED HORIZONTALLY AT EACH FLOOR, AND VERTICALLY (FROM FLOOR TO FLOOR) AND PAINTED TO MATCH ADJACENT STUCCO COLOR
11. ALL EXPOSED CMU TO BE STACKED OR RUNNING BOND AS SHOWN, WITH RAKED JOINTS, U.N.O.

### COLORS

PANTONE (DUNN EDWARDS 'DE)

- |                        |                         |          |
|------------------------|-------------------------|----------|
| A1. MAIN FIELD (LIGHT) | DW314 - DESERT STAR     | - LRV 81 |
| A2. 2ND FIELD (MEDIUM) | DET626 - RECLAIMED WOOD | - LRV 47 |
| A3. ACCENT (DARK)      | DET626 - METAL FRINGE   | - LRV 21 |
| A4. ACCENT (TEAL)      | DET546 - OASIS          | - LRV 24 |
| A5. ACCENT (ORANGE)    | DET529 - CLAY TERRACE   | - LRV 29 |

ALUMINUM STOREFRONT: (ARCADIA)

- B1. AB-7 'STANDARD DARK BRONZE' ANODIZED

SLIDING GLASS DOORS AND WINDOWS: (MILGARD)

- B2. DARK BRONZE ANODIZED

MASONRY (SUPERLITE BLOCK)

- |             |                               |            |
|-------------|-------------------------------|------------|
| C1. 4x8x16  | INTEGRAL COLOR SMOOTH FACE    | - MW GRAY  |
| C2. 4x10x16 | INTEGRAL COLOR SMOOTH FACE    | - MW GRAY  |
| C3. 8x8x16  | 2" OFFSET CORE SHADOW BLOCK   | - MW GRAY  |
| C4. 4x12x12 | INTEGRAL COLOR SMOOTH FACE    | - CHARCOAL |
| C5. 4x12x12 | SQUARE ON SQUARE BREEZE BLOCK | - MW GRAY  |

WOOD GRAIN METAL SIDING: (RMP ROLFA8)

- D1. ALUMABOARD HAZELNUT BROWN 6" V-GROOVE

METAL ROOF PANELS: (MORIN OR EQ.)

- E1. CUSTOM COLOR TO MATCH PAINT A5

K & I HOMES, LLC

4125 E. INDIAN SCHOOL RD  
SCOTTSDALE, AZ 85251  
PH: 480-498-2828



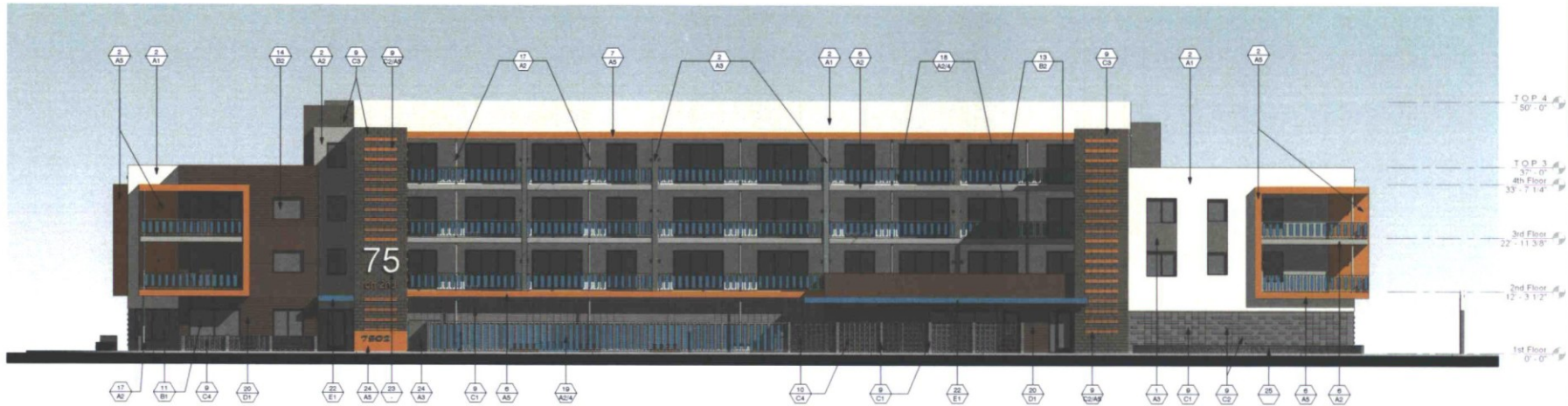
Clayton

75 on 2nd  
7502 East 2nd Street  
Scottsdale, AZ

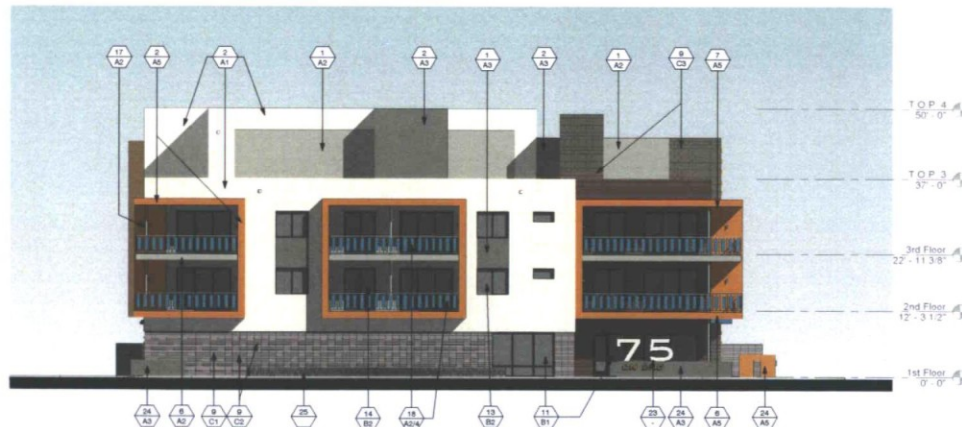
### Revisions

| # | Description | Date |
|---|-------------|------|
|   |             |      |





1 South Elevation  
1" = 10'-0"



2 West Elevation  
3/32" = 1'-0"

## MATERIAL / COLOR SCHEDULE

MATERIAL  
COLOR

### MATERIALS / KEY NOTES

- STUCCO OVER PAPER BACKED METAL LATH ON EXT. GRADE PLYWOOD SHEATHING
- STUCCO OVER METAL LATH AND 1" FOAM ON EXT. GRADE PLYWOOD SHEATHING
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- EXPOSED MASONRY - RUNNING BOND, RAKED JOINTS
- DECORATIVE FENCE BLOCK PANEL - STACKED BOND
- ALUMINUM STOREFRONT - FACTORY FINISH
- ALUMINUM STOREFRONT / DOORS - SEE SCHEDULE
- SLIDING ALUMINUM GLASS PATIO DOORS - FACTORY FINISH
- FIXED SINGLE SLIDING ALUMINUM WINDOW - FACTORY FINISH
- HOLLOW METAL DOOR AND FRAME - PAINTED - SEE SCHEDULE
- SECTIONAL GARAGE DOOR - FACTORY FINISH
- STEEL COLUMN - PAINTED
- TUBE STEEL RAILING/GUARDRAIL - PAINTED
- TUBE STEEL VIEW / POOL FENCE - PAINTED
- HORIZONTAL METAL SIDING
- CMU REFUSE ENCLOSURE
- STANDING SEAM METAL ROOF
- BUILDING SIGNAGE - UNDER SEPARATE PERMIT AND SUBMITTAL
- CMU SITE/SCREEN WALL WITH STUCCO FINISH
- 12" W CAST IN PLACE BOARD FORMED CONCRETE SEAT/SITE WALL
- COLOR AND TEXTURE TO MATCH CLAYTON HOUSE

### GENERAL NOTES

- STUCCO SYSTEM TO BE STO POWERWALL OVER 1" INSULATION BOARD, WITH 1/8" FINE INTEGRAL COLORED FINISH TO MATCH PAINT COLOR SPECIFIED. SYSTEM TO BE INSTALLED OVER STO GUARD WITH GOLD COAT WATER RESISTIVE BARRIER, PER THE FOLLOWING EVALUATION REPORTS:  
ESR-2323 STO POWERWALL STUCCO SYSTEM  
ESR-1233 STO GUARD WITH GOLD COAT WATER RESISTIVE BARRIERS - OR APPROVED EQUAL
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- PROVIDE SEALANT AT ALL STUCCO PENETRATIONS
- PAINT ALL EXTERIOR MOUNTED ELECTRICAL AND MECHANICAL PANELS/BOXES TO MATCH ADJACENT SURFACE OF THE BUILDING.
- PAINT ALL VENTS, FLASHING, MISC. MATERIALS TO MATCH ADJ. BLDG. COLOR U/N/O.
- ALL PAINT COLOR CHANGES TO TERMINATE ON INSIDE CORNERS ONLY.
- PROVIDE 2" OR 4" SOLID CMU CAPS AT ALL EXPOSED CMU SITE WALLS
- ALL EXPOSED DRYER AND EXHAUST VENTS TO BE ALIGNED HORIZONTALLY (AT EACH FLOOR) AND VERTICALLY (FROM FLOOR TO FLOOR) AND PAINTED TO MATCH ADJACENT STUCCO COLOR
- ALL EXPOSED CMU TO BE STACKED OR RUNNING BOND AS SHOWN, WITH RAKED JOINTS, U/N/O.

### COLORS

PAINT: (DUNN EDWARDS 'DE')  
A1. MAIN FIELD (LIGHT) DW314 - DESERT STAR - LRV 81  
A2. 2ND FIELD (MEDIUM) DET625 - RECLAIMED WOOD - LRV 47  
A3. ACCENT (DARK) DET626 - METAL FRINGE - LRV 21  
A4. ACCENT (TEAL) DET546 - OASIS - LRV 24  
A5. ACCENT (ORANGE) DES229 - CLAY TERRACE - LRV 29

ALUMINUM STOREFRONT: (ARCADIA)

B1. AB-7 STANDARD DARK BRONZE ANODIZED

SLIDING GLASS DOORS AND WINDOWS: (MILGARD)

B2. DARK BRONZE ANODIZED

### MASONRY (SUPERLITE BLOCK)

C1. 4x8x16 INTEGRAL COLOR SMOOTH FACE - MW GRAY  
C2. 4X10X16 INTEGRAL COLOR SMOOTH FACE - MW GRAY  
C3. 8x8x16 INTEGRAL COLOR SMOOTH FACE - CHARCOAL  
C4. 4X12X12 SQUARE ON SQUARE BREEZE BLOCK - MW GRAY

### WOOD GRAIN METAL SIDING: (PMP ROLL'FAB)

D1. ALUMABOARD HAZELNUT BROWN 6" V-GROOVE

### METAL ROOF PANELS (MORIN OR EQ.)

E1. CUSTOM COLOR TO MATCH PAINT AS

K&I HOMES, LLC

9125 E. MCDONALD SCHOOL RD.  
SUITE 2000  
SCOTTSDALE, AZ 85261  
PH: 602-959-5026



Clayton

75 on 2nd  
7502 East 2nd Street  
Scottsdale, AZ

### Revisions

| # | Description | Date |
|---|-------------|------|
|---|-------------|------|

### OWNER'S COPY OF DOCUMENTS

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JONES, LLC

JOB NUMBER: 1506

DRAWN BY: Author

CHECKED BY: Checker

ISSUE DATE: 5/1/2019



SHEET TITLE:

Exterior Elevations

SHEET NUMBER:

A3.1

ReZone2 - Design

Review 1

2-ZN-2019  
05/10/2019





1 South Elevation (2nd Street)  
1" = 10'-0"



2 West Elevation (75th Street)  
3/32" = 1'-0"

TOP 4 #  
50'-0"

TOP 3 #  
37'-0"  
4th Floor #  
33'-7 1/4"

3rd Floor #  
22'-11 3/8"

2nd Floor #  
12'-3 1/2"

1st Floor #  
0'-0"

## MATERIAL / COLOR SCHEDULE

MATERIAL  
COLOR

### MATERIALS / KEY NOTES

1. STUCCO OVER PAPER BACKED METAL LATH ON EXT. GRADE PLYWOOD SHEATHING
2. STUCCO OVER METAL LATH AND 1" FOAM ON EXT. GRADE PLYWOOD SHEATHING
3. STUCCO OVER METAL LATH AND 1" FOAM OVER CMU
4. STUCCO CONTROL JOINT
5. BALCONY FACIA WITH METAL T-BAR AND STUCCO FINISH
7. ROOF OVERHANG - STUCCO FRONT FACIA AND UNDERSIDE EXPOSED MASONRY - RUNNING BOND, RAKED JOINTS
9. DECORATIVE FENCE BLOCK PANEL - STACKED BOND
11. ALUMINUM STOREFRONT - FACTORY FINISH
12. ALUMINUM STOREFRONT / DOORS - SEE SCHEDULE
13. SLIDING ALUMINUM GLASS PATIO DOORS - FACTORY FINISH
14. FIXED SINGLE SLIDING ALUMINUM WINDOW - FACTORY FINISH
15. HOLLOW METAL DOOR AND FRAME - PAINTED - SEE SCHEDULE
16. SECTIONAL GARAGE DOOR - FACTORY FINISH
17. STEEL COLUMN - PAINTED
18. TUBE STEEL RAILING/GUARDRAIL - PAINTED
19. TUBE STEEL VIEW / POOL FENCE - PAINTED
20. HORIZONTAL METAL SIDING
21. CMU REFUSE ENCLOSURE
22. STANDING SEAM METAL ROOF
24. CMU SITE/SCREEN WALL WITH STUCCO FINISH
25. 12" W CAST IN PLACE BOARD FORMED CONCRETE SEAT/SITE WALL COLOR AND TEXTURE TO MATCH CLAYTON HOUSE

### GENERAL NOTES

1. STUCCO SYSTEM TO BE STO POWERWALL OVER 1" INSULATION BOARD, WITH 1/8" FINE INTEGRAL COLORED FINISH TO MATCH PAINT COLOR SPECIFIED. SYSTEM TO BE INSTALLED OVER STO GUARD WITH GOLD COAT WATER RESISTIVE BARRIER, PER THE FOLLOWING EVALUATION REPORTS:  
ESR-2223 STO POWERWALL STUCCO SYSTEM  
ESR-1233 STO GUARD WITH GOLD COAT WATER RESISTIVE BARRIERS - OR APPROVED EQUAL
2. STUCCO CONTROL JOINTS SHOWN AT TYPICAL LOCATIONS ONLY PROVIDE ADDITIONAL CONTROL JOINTS AS MAY BE REQUIRED AND RECOMMENDED BY STUCCO MANUFACTURER VERIFY LOCATION WITH ARCHITECT
3. STUCCO CONTROL JOINTS TO BE PROVIDED SO THAT MAX. STUCCO PANEL SIZE IS 144" SF. WITH A WIDTH TO LENGTH RATIO OF 1:2. TYPICAL JOINT PLACEMENTS INCLUDE:  
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6. PAINT ALL EXTERIOR MOUNTED ELECTRICAL AND MECHANICAL PANELS/BOXES TO MATCH ADJACENT SURFACE OF THE BUILDING
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11. ALL EXPOSED CMU TO BE STACKED OR RUNNING BOND AS SHOWN, WITH RAKED JOINTS, U.N.O.

### COLORS

- PAINT:** (DUNN EDWARDS DE)
- |                        |                         |          |
|------------------------|-------------------------|----------|
| A1. MAIN FIELD (LIGHT) | DW314 - DESERT STAR     | - LRV 81 |
| A2. 2ND FIELD (MEDIUM) | DET825 - RECLAIMED WOOD | - LRV 47 |
| A3. ACCENT (DARK)      | DET826 - METAL FRINGE   | - LRV 21 |
| A4. ACCENT (TEAL)      | DET548 - OASIS          | - LRV 24 |
| A5. ACCENT (ORANGE)    | DES229 - CLAY TERRACE   | - LRV 29 |

**ALUMINUM STOREFRONT:** (ARCADIA)  
B1. AB-7 STANDARD DARK BRONZE ANODIZED

**SLIDING GLASS DOORS AND WINDOWS:** (MILGARD)  
B2. DARK BRONZE ANODIZED

- MASONRY:** (SUPERLITE BLOCK)
- |             |                               |            |
|-------------|-------------------------------|------------|
| C1. 4x8x16  | INTEGRAL COLOR SMOOTH FACE    | - MW GRAY  |
| C2. 4x10x16 | INTEGRAL COLOR SMOOTH FACE    | - MW GRAY  |
|             | 2" OFFSET CORE SHADOW BLOCK   | - CHARCOAL |
| C3. 8x8x16  | INTEGRAL COLOR SMOOTH FACE    | - MW GRAY  |
| C4. 4x12x12 | SQUARE ON SQUARE BREEZE BLOCK | - MW GRAY  |

**WOOD GRAIN METAL SIDING:** (RMP POLYFAB)  
D1. ALUMABOARD HAZELNUT BROWN 6" V-GROOVE

**METAL ROOF PANELS:** (MORIN OR EQ)  
E1. CUSTOM COLOR TO MATCH PAINT AS

K & I HOMES, LLC

4125 E. INDIAN SCHOOL RD.  
SCOTTSDALE, AZ 85251  
PH: 602-508-2925



Clayton

75 on 2nd  
7502 East 2nd Street  
Scottsdale, AZ

Revisions  
# Description Date

### OWNERSHIP OF DOCUMENTS

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JOB NUMBER: 188

DRAWN BY: Author

CHECKED BY: Checker

ISSUE DATE: 5/1/2019



SHEET TITLE

Exterior Elevations

(Streetscape)

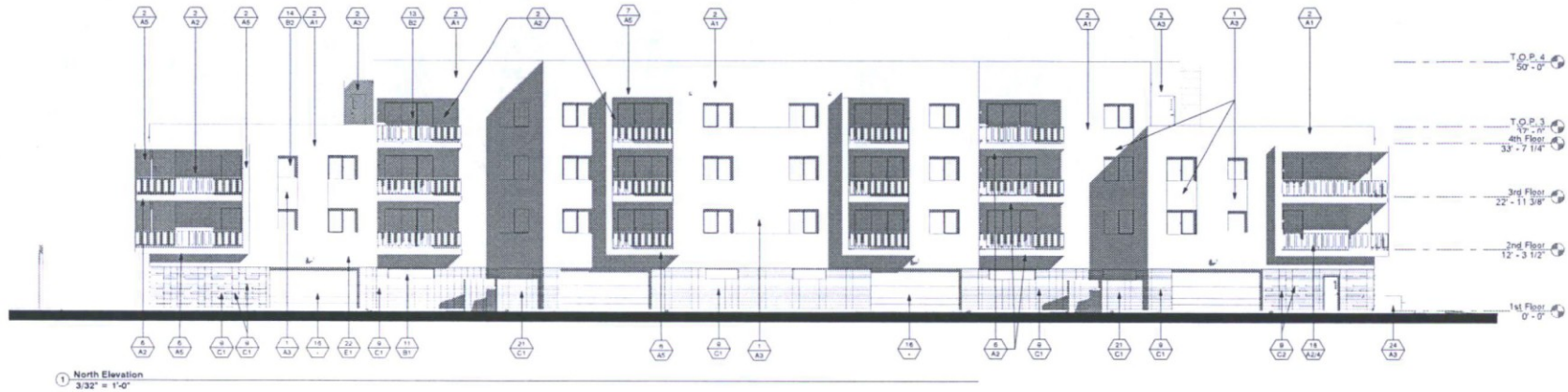
SHEET NUMBER:

**A3.1**

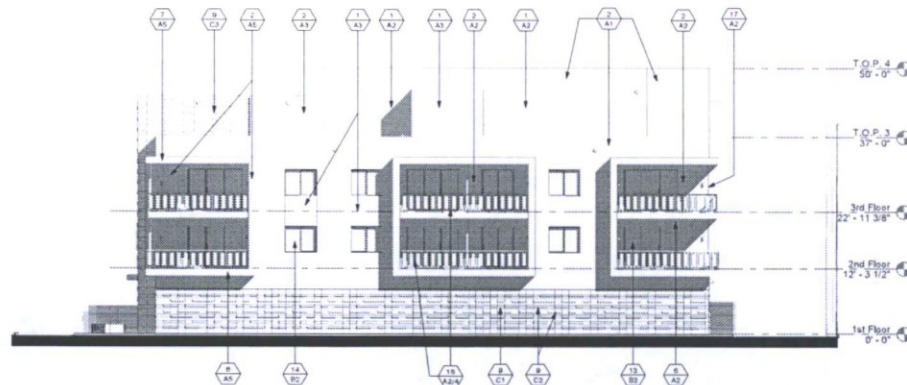
ReZone2 - Design  
Review1

2-ZN-2019  
05/10/2019





1 North Elevation  
3/32" = 1'-0"



2 East Elevation  
3/32" = 1'-0"

## MATERIAL / COLOR SCHEDULE

MATERIAL  
COLOR

### MATERIALS / KEY NOTES

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- PLYWOOD SHEATHING
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### COLORS

#### PANT. (DUNN EDWARDS 'DE)

- |                        |                         |          |
|------------------------|-------------------------|----------|
| A1. MAIN FIELD (LIGHT) | DW314 - DESERT STAR     | - LRV 81 |
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| A4. ACCENT (TEAL)      | DET546 - OASIS          | - LRV 24 |
| A5. ACCENT (ORANGE)    | DES229 - CLAY TERRACE   | - LRV 29 |

#### ALUMINUM STOREFRONT: (ARCADIA)

- B1. AS-7 'STANDARD DARK BRONZE' ANODIZED

#### SLIDING GLASS DOORS AND WINDOWS: (MILGARD)

- B2. DARK BRONZE ANODIZED

#### MASONRY (SUPERLITE BLOCK)

- |            |                               |            |
|------------|-------------------------------|------------|
| C1. 48x16  | INTEGRAL COLOR SMOOTH FACE    | - MW GRAY  |
| C2. 48x16  | INTEGRAL COLOR SMOOTH FACE    | - MW GRAY  |
|            | 2" OFFSET CORE SHADOW BLOCK   |            |
| C3. 8x8x16 | INTEGRAL COLOR SMOOTH FACE    | - CHARCOAL |
| C4. 48x12  | SQUARE ON SQUARE BREEZE BLOCK | - MW GRAY  |

#### WOOD GRAIN METAL SIDING: (RMP ROLLFAB)

- D1. ALUMABOARD HAZELNUT BROWN # V-GROOVE

#### METAL ROOF PANELS: (MORIN OR EQ.)

- E1. CUSTOM COLOR TO MATCH PAINT AS

K & I HOMES, LLC

8125 E. INDIAN SCHOOL RD.  
SCOTTSDALE, AZ 85251  
PH: 480-405-2929



Clayton

75 on 2nd  
7502 East 2nd Street  
Scottsdale, AZ

### Revisions

| # | Description | Date |
|---|-------------|------|
|   |             |      |

### DOCUMENTS

Information and use of this drawing is limited to the project and site shown. It is not to be used for any other project or site without the written consent of K & I Homes, LLC. The user of this drawing is responsible for obtaining all necessary permits and approvals for the project and site shown. The user of this drawing is also responsible for obtaining all necessary permits and approvals for the project and site shown.

JOB NUMBER: 1108

DRAWING BY: KS

CHECKED BY: KS

ISSUE DATE: 5/1/2019

SCALE: 1/8" = 1'-0"

DATE: 5/1/2019

DATE: 5/1/2019

DATE: 5/1/2019

DATE: 5/1/2019

DATE: 5/1/2019

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DATE: 5/1/2019

DATE: 5/1/2019

2-ZN-2019  
05/10/2019

ReZone2 - Design  
Review1

A3.2

SHEET NUMBER

Exterior Elevations

DATE: 5/1/2019

DATE: 5/1/2019

DATE: 5/1/2019

DATE: 5/1/2019

DATE: 5/1/2019

DATE: 5/1/2019

DATE: 5/1/2019

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DATE: 5/1/2019

DATE: 5/1/2019

DATE: 5/1/2019

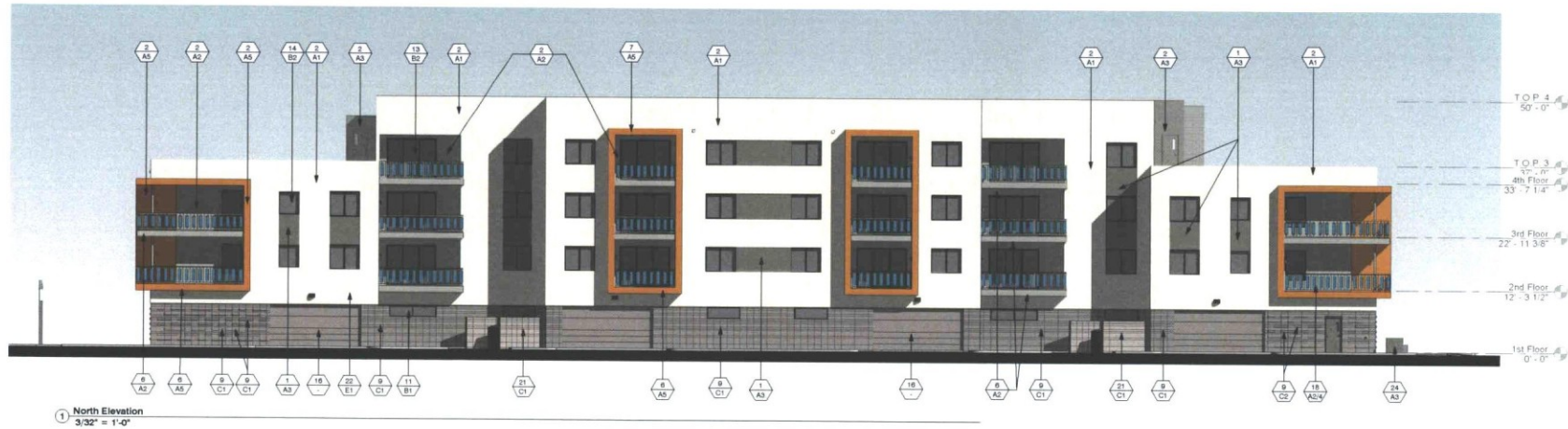
DATE: 5/1/2019

DATE: 5/1/2019

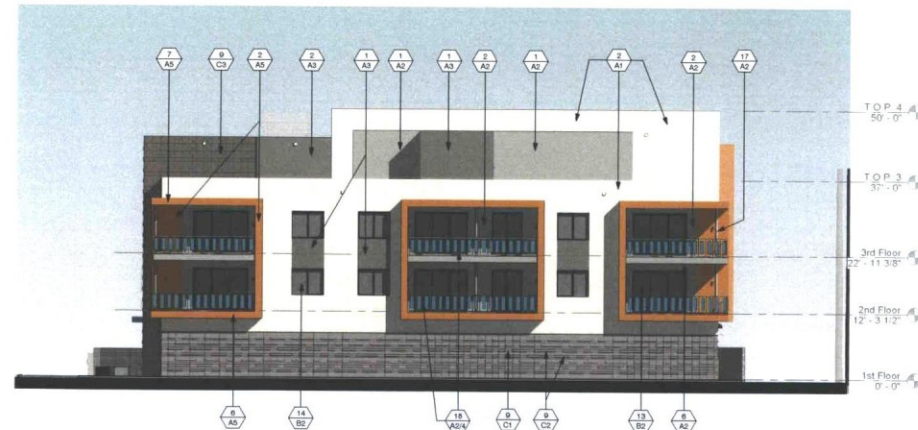
DATE: 5/1/2019

DATE: 5/1/2019





1 North Elevation  
3/32" = 1'-0"



2 East Elevation  
3/32" = 1'-0"

## MATERIAL / COLOR SCHEDULE

MATERIAL  
COLOR

### MATERIALS / KEY NOTES

- STUCCO OVER PAPER BACKED METAL LATH ON EXT. GRADE PLYWOOD SHEATHING
- STUCCO OVER METAL LATH AND 1" FOAM ON EXT. GRADE PLYWOOD SHEATHING
- STUCCO OVER METAL LATH AND 1" FOAM OVER CMU
- STUCCO CONTROL JOINT
- BALCONY FACIA WITH METAL T BAR AND STUCCO FINISH
- ROOF OVERHANG - STUCCO FRONT FACIA AND UNDERSIDE
- EXPOSED MASONRY - RUNNING BOND, RAKED JOINTS
- DECORATIVE FENCE BLOCK PANEL - STACKED BOND
- ALUMINUM STOREFRONT - FACTORY FINISH
- SLIDING ALUMINUM GLASS PATIO DOORS - FACTORY FINISH
- FIXED SINGLE SLIDING ALUMINUM WINDOW - FACTORY FINISH
- HOLLOW METAL DOOR AND FRAME - PAINTED - SEE SCHEDULE
- SECTIONAL GARAGE DOOR - FACTORY FINISH
- STEEL COLUMN - PAINTED
- TUBE STEEL RAILING/GUARDRAIL - PAINTED
- TUBE STEEL VIEW / POOL FENCE - PAINTED
- HORIZONTAL METAL SIDING
- CMU REFUSE ENCLOSURE
- STANDING SEAM METAL ROOF
- BUILDING SIGNAGE - UNDER SEPARATE PERMIT AND SUBMITTAL
- CMU SITE/SCREEN WALL WITH STUCCO FINISH
- 12" W CAST IN PLACE BOARD FORMED CONCRETE SEAT/SITE WALL COLOR AND TEXTURE TO MATCH CLAYTON HOUSE

### GENERAL NOTES

- STUCCO SYSTEM TO BE STO POWERWALL OVER 1" INSULATION BOARD, WITH 1 0/FINE INTEGRAL COLORED FINISH TO MATCH PAINT COLOR SPECIFIED. SYSTEM TO BE INSTALLED OVER STO GUARD WITH GOLD COAT WATER RESISTIVE BARRIER, PER THE FOLLOWING EVALUATION REPORTS:  
ESR-2033 STO POWERWALL STUCCO SYSTEM  
ESR-1233 STO GUARD WITH GOLD COAT WATER RESISTIVE BARRIERS - OR APPROVED EQUAL
- STUCCO CONTROL JOINTS SHOWN AT TYPICAL LOCATIONS ONLY. PROVIDE ADDITIONAL CONTROL JOINTS AS MAY BE REQUIRED AND RECOMMENDED BY STUCCO MANUFACTURER VERIFY LOCATION WITH ARCHITECT.
- STUCCO CONTROL JOINTS TO BE PROVIDED SO THAT MAX. STUCCO PANEL SIZE IS 144" SF, WITH A WIDTH TO LENGTH RATIO OF 1:2 1/2. TYPICAL JOINT PLACEMENTS INCLUDE:  
- HORIZONTALLY AT EACH FLOOR LEVEL  
- VERTICALLY FROM CORNER OF SLIDING DOORS, WINDOWS AND BALCONIES
- ALL CONTROL JOINTS & REVEALS TO TERMINATE ON INSIDE CORNERS ONLY.
- PROVIDE SEALANT AT ALL STUCCO PENETRATIONS.
- PAINT ALL EXTERIOR MOUNTED ELECTRICAL AND MECHANICAL PANELS/BOXES TO MATCH ADJACENT SURFACE OF THE BUILDING.
- PAINT ALL VENTS, FLASHING, MISC. MATERIALS TO MATCH ADJ. WALLS
- ALL PAINT COLOR CHANGES TO TERMINATE ON INSIDE CORNERS ONLY.
- PROVIDE 2" OR 4" SOLID CMU CAPS AT ALL EXPOSED CMU SITE WALLS
- ALL EXPOSED DRYER AND EXHAUST VENTS TO BE ALIGNED HORIZONTALLY (AT EACH FLOOR) AND VERTICALLY (FROM FLOOR TO FLOOR) AND PAINTED TO MATCH ADJACENT STUCCO COLOR
- ALL EXPOSED CMU TO BE STACKED OR RUNNING BOND AS SHOWN, WITH RAKED JOINTS, U.N.G.

### COLORS

#### PAINT: (DUNN EDWARDS 'DE')

- |                        |                         |          |
|------------------------|-------------------------|----------|
| A1. MAIN FIELD (LIGHT) | DET314 - DESERT STAR    | - LRV 81 |
| A2. 2ND FIELD (MEDIUM) | DET626 - RECLAIMED WOOD | - LRV 47 |
| A3. ACCENT (DARK)      | DET626 - METAL FRINGE   | - LRV 21 |
| A4. ACCENT (TEAL)      | DET546 - OASIS          | - LRV 24 |
| A5. ACCENT (ORANGE)    | DES229 - CLAY TERRACE   | - LRV 29 |

#### ALUMINUM STOREFRONT (ARCADIA)

- B1. AB-7 STANDARD DARK BRONZE ANODIZED

#### SLIDING GLASS DOORS AND WINDOWS (MILGARD)

- B2. DARK BRONZE ANODIZED

#### MASONRY (SUPERLITE BLOCK)

- |   |            |
|---|------------|
| C1. 4x8x16 INTEGRAL COLOR SMOOTH FACE     | - MW GRAY  |
| C2. 4X10X16 INTEGRAL COLOR SMOOTH FACE    | - MW GRAY  |
| C3. 8x8x16 INTEGRAL COLOR SMOOTH FACE     | - CHARCOAL |
| C4. 4X12X12 SQUARE ON SQUARE BREEZE BLOCK | - MW GRAY  |

#### WOOD GRAIN METAL SIDING (RMP ROLLFAB)

- D1. ALUMABOARD HAZELNUT BROWN 6" V-GROOVE

#### METAL ROOF PANELS (MORIN OR EQ.)

- E1. CUSTOM COLOR TO MATCH PAINT A5

K&I HOMES, LLC

6125 E. MCKAY SCHOOL RD.  
SCOTTSDALE, AZ 85261  
PH: 602-900-2526



Clayton

75 on 2nd  
7502 East 2nd Street  
Scottsdale, AZ

### Revisions

| # | Description | Date |
|---|-------------|------|
|   |             |      |





OVERALL AREA OF FACADE = 11,310 SF  
AREA OF ENCROUCHMENT = 0 SF



② West Elevation Worksheet  
3/32" = 1'-0"

OVERALL AREA OF FACADE = 5,370 SF

 AREA OF ENCROUCHMENT = 88 SF = 1.6 %

AVE. TOP OF CURB ALONG 75TH STREET = 1243'-0"  
BLDG. FFE = 1242'-4"  
AVE. TOP OF CURB IS 8' ABOVE FFE

| Revisions |             |      |
|-----------|-------------|------|
| #         | Description | Date |

|  |                         |
|--|-------------------------|
|  | OWNER/SHIP OF DOCUMENTS |
|--|-------------------------|

CONSPIRACY AND RICO CONVICTIONS WERE AN  
INTEGRAL PART OF THE PROSECUTION'S CASE AGAINST  
GAMALL. HE MADE THE PROSECUTION OF THE  
ALLEGEDLY TIED TOGETHER THE PROSECUTION  
FROM WHICH THE TWO WERE SEPARATED AS  
ONE COURT CASE ONLY. THERE WAS NO NEED TO  
SEE WHICH ONE WOULD PROSECUTE THE CASE  
IN THE COURT. THE TWO PROSECUTIONS WERE  
NOT ALIGNED WITH THE GOVERNMENT, AND WERE  
APPROPRIATE TO CONSIDER THEM TO BE A  
THREAT TO THE U.S.A.

JOB NUMBER: 1609

DRAWN BY: KS  
CHECKED BY: KS

ISSUE DATE: 5/1/2019



L. Aguilar

SHEET TITLE:

Elevation Worksheet

8-1-1000000 8-1-1000000

SHEET NUMBER:

400

A3 3

### A3.3

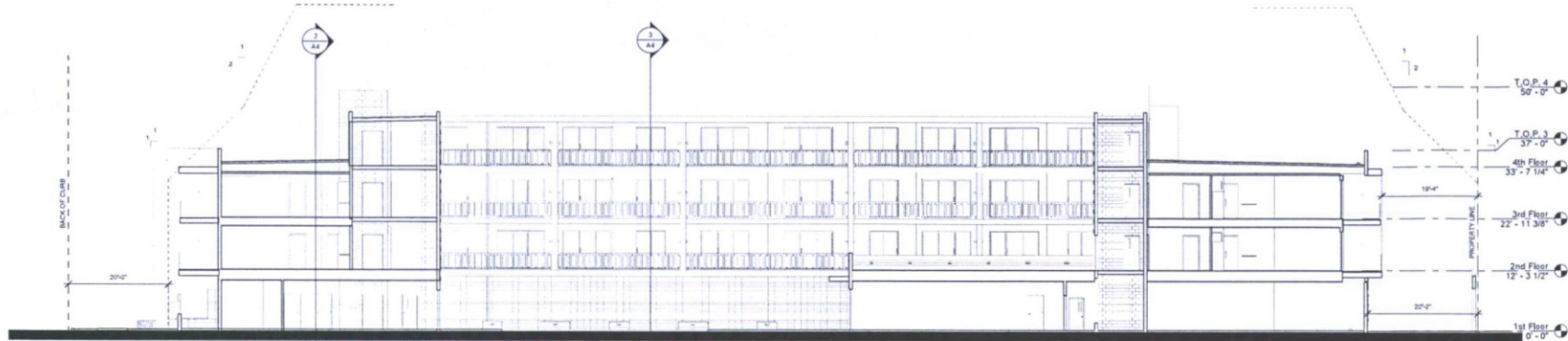
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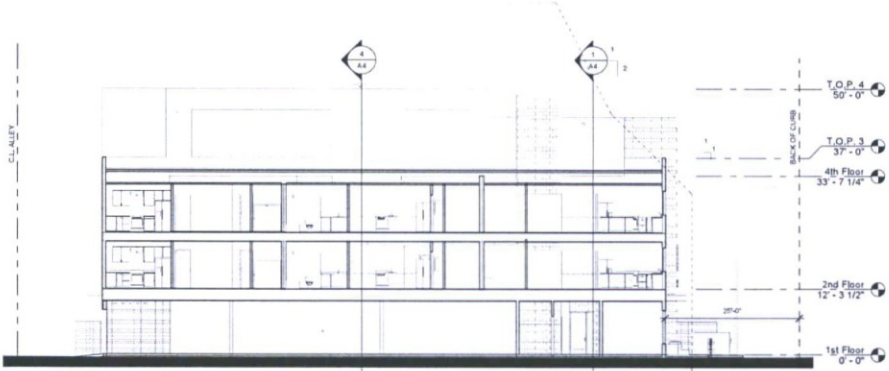
ReZone2 - Design

Review1

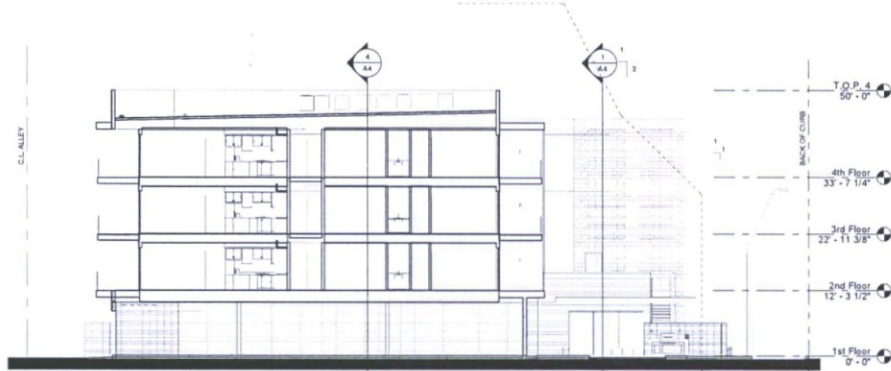




1 Section E-W Front  
3/32" = 1'-0"



2 Section N-S West End  
3/32" = 1'-0"



3 Section N-S Center  
3/32" = 1'-0"



4 Section E-W Center  
3/32" = 1'-0"

K & I HOMES, LLC

4125 E. NEWMAN SCHOOL RD  
SCOTTSDALE, AZ 85251  
PH: 602-495-2025



Clayton

75 on 2nd  
7502 East 2nd Street  
Scottsdale, AZ

Revisions

| # | Description | Date |
|---|-------------|------|
|   |             |      |

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JOB NUMBER: 1809  
DRAWN BY: KS  
CHECKED BY: KS  
ISSUE DATE: 5/10/2019



SHEET TITLE:  
Building Sections - Overall

SHEET NUMBER:

A4

ReZone2 - Design  
Review1

2-ZN-2019  
05/10/2019





PERSPECTIVE VIEW FROM SOUTHWEST



PERSPECTIVE VIEW FROM SOUTHEAST

K&L HOMES, LLC

6125 E. HANNA SCHOOL RD.  
SUITE 200  
SCOTTSDALE, AZ 85251  
PH: 602-505-2426



Clayton

75 on 2nd  
7502 East 2nd Street  
Scottsdale, AZ

Revisions

| # | Description | Date |
|---|-------------|------|
|   |             |      |

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THE OWNER OR ANY OTHER PARTY.

JOB NUMBER: 1809

DRAWN BY: KS

CHECKED BY: KS

ISSUE DATE: 5/1/2019



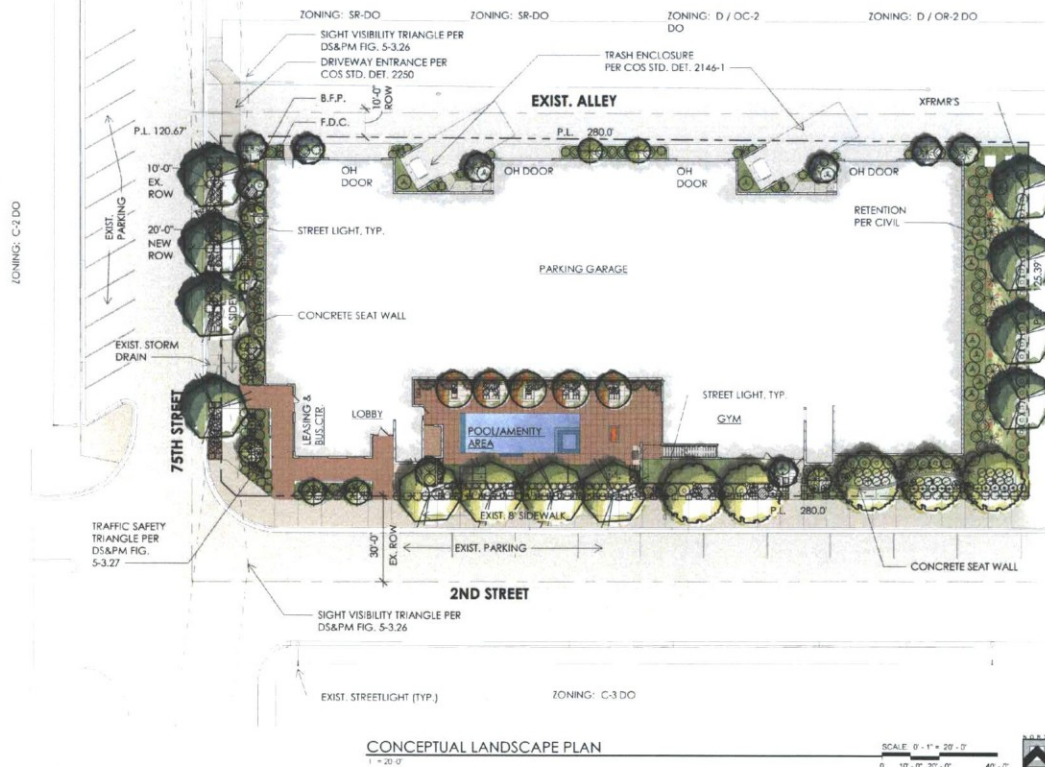
SHEET TITLE:  
Renderings

SHEET NUMBER:

A5

ReZone2 - Design  
Review1





### LANDSCAPE NOTES

1. DECOMPOSED GRANITE OR SIMILAR MATERIAL AROUND THE MATURE FORM OF A SPECIMEN PLANT, TREE CANOPY, OR GROUPS OF PLANTS. SHALL NOT EXCEED SEVEN (7) FEET IN ANY DIRECTION, PER ZONING ORDINANCE SECTION 10.501.A.
2. ALL TREES SHALL BE FIFTEEN (15) GALLON MINIMUM SIZE, AND A LEAST FIFTY (50) PERCENT SHALL BE MATURE TREES WITH A MINIMUM 2" CALIPER.
3. THIS PROJECT CONTAINS NO NEW PARKING / LANDSCAPE AREAS & REQUIREMENTS.
4. ALL PLANT MATERIALS SHALL BE FROM THE ARIZONA DEPARTMENT OF WATER RESOURCE'S (ADWR) PHOENIX ACTIVE MANAGEMENT AREA PLANT LIST & IS EXEMPT FROM THE CITY OF SCOTTSDALE'S ENVIRONMENTALLY SENSITIVE LANDS ORDINANCE (ESLO) PLANT LIST.
5. THIS PROJECT DOES NOT CONTAIN ANY NATURAL AREA OPEN SPACE (NAOS).
6. NO NATIVE PLANT INVENTORY & SALVAGE REQUIRED FOR THIS LOCATION.
7. THORNY SHRUBS AND CACTI SHALL BE PLANTED SO THAT THEIR MATURE SIZE/CANOPY WILL BE AT LEAST 4 FEET AWAY FROM ANY WALKWAYS OR PARKING AREA CURBING. PER DSPM SEC. 2-1.1001.13.
8. ALL SIDEWALKS TO BE A MIN. 6'-0" CLEAR.
9. ALL FIRELANE SURFACES SHALL SUPPORT 83,000 LBS GROSS VEHICULAR WEIGHT PER DS & PM 2-1.802(3)
10. ALL LANDSCAPE AREAS SHALL BE IRRIGATED BY AUTOMATIC UNDERGROUND IRRIGATION SYSTEM.
11. REFER TO CIVIL FOR ALL GRADING, DRAINAGE, RETENTION AREAS, SETBACKS, EASEMENTS & P.U.E. LOCATIONS

### PLANT LEGEND

| BOTANICAL NAME                   | COMMON NAME              | CAL. SIZE | BOX SIZE | QTY     | COMMENTS   |
|----------------------------------|--------------------------|-----------|----------|---------|------------|
| <b>TREE</b>                      |                          |           |          |         |            |
| BAUHINIA LUNARIOIDES             | ANACACHO ORCHID TREE     | 1.25"     | 6        | 8x6'    |            |
| CAESALPINIA MEXICANA             | MEXICAN BIRD OF PARADISE | 1.5"      | 10       | 15'x15' |            |
| QUERCUS VIRGINIANA               | SOUTHERN LIVE OAK        | 2.5"      | 13       | 40'x50' |            |
| SOPHORA SECUNDIFLORA             | TEXAS MOUNTAIN LAUREL    | 2"        | 10       | 15'x15' |            |
| ULMUS PARVIFOLIA 'EMERALD II'    | EVERGREEN ELM 'EMERALD'  | 1.5"      | 6        | 30'x30' |            |
| <b>PALM</b>                      |                          |           |          |         |            |
| ALOE HERCULES                    | TREE ALOE 'HERCULES'     |           | 15 Gal.  | 4       |            |
| <b>SHRUBS</b>                    |                          |           |          |         |            |
| CAESALPINIA PULCHERRIMA          | RED BIRD OF PARADISE     |           | 5 Gal.   | 18      |            |
| CALLIANDRA HYBRID 'SIERRA STARR' | SIERRA STARR CALLIANDRA  |           | 5 Gal.   | 30      |            |
| EREMOPHILA HYGROPHANA            | BLUE BELLS               |           | 5 Gal.   | 4       |            |
| EUPHORBIA RIGIDA                 | GOHPER PLANT             |           | 5 Gal.   | 31      |            |
| HESPERALOE PARVIFLORA            | RED YUCCA                |           | 5 Gal.   | 32      |            |
| MUHLENBERGIA x 'PINK             | PINK FLAMINGO MUHLY      |           | 5 Gal.   | 27      | 4'1 x 18'w |
| TECOMA STANS HYBRID 'SPARKY'     | YELLOW BELLS 'SPARKY'    |           | 5 Gal.   | 73      |            |
| <b>ACCENT</b>                    |                          |           |          |         |            |
| AGAVE DESMETIANA                 | SMOOTH AGAVE             |           | 5 Gal.   | 30      |            |
| ALOE 'BLUE ELF'                  | BLUE ELF ALOE            |           | 5 Gal.   | 58      |            |
| ALOE BARBARENSIS                 | MEDICINAL ALOE           |           | 5 Gal.   | 21      |            |
| DASYLIRION WHEELERI              | DESERT SPOON             |           | 5 Gal.   | 7       |            |
| PEDILANTHUS MACROCARPA           | LADY'S SLIPPER           |           | 5 Gal.   | 18      |            |
| <b>GROUND COVER</b>              |                          |           |          |         |            |
| PORTULACARIA AFRA                | ELEPHANT'S FOOD          |           | 3 Gal.   | 79      |            |
| SPHAGNETCOLA TRILOBATA           | YELLOW DOT               |           | 1 Gal.   | 87      |            |
| <b>VINES</b>                     |                          |           |          |         |            |
| PODRANEA RICASOLIANA             | PINK TRUMPET VINE        |           | 15 Gal.  | 13      |            |

### GROUND PLANE TREATMENT

|   |                 |
|---|-----------------|
| 3/4" MINUS DECOMPOSED GRANITE, 'MADISON GOLD'   | +/- 6,725 S.F.  |
| 3"-8" RIP RAP, 'MADISON GOLD'   | PER CIVIL PLANS |
| 2' AROUND ALL CATCH BASIN LOCATIONS (NATURAL PLACEMENT)                                 |                 |
| SYNTHETIC TURF - ACT GLOBAL 'NATURAL 48', INSTALL OVER 4" 1/4" MINUS DECOMPOSED GRANITE | +/- 775 S.F.    |

### LANDSCAPE CALCULATIONS

|                      |                |
|----------------------|----------------|
| LANDSCAPE OPEN SPACE | +/- 2,470 s.f. |
| PARKING LANDSCAPE    | NA             |
| FRONTAGE LANDSCAPE   | +/- 624 s.f.   |

### VICINITY MAP



K&I HOMES, LLC

4728 E INDIAN SCHOOL RD  
SUITE 2003  
SCOTTSDALE, AZ 85251  
PH: 602-509-2929



Clayton

PIXELstudios  
TRAINING DESIGN TO A WHOLE NEW LEVEL

75 on 2nd  
7502 East 2nd Street  
Scottsdale, AZ

Revisions  
# Description Date

OWNERSHIP OF DOCUMENTS

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JOB NUMBER: 19-004  
DRAWN BY: DSS  
CHECKED BY: DSS  
ISSUE DATE: 5/1/2019

44580  
DUSTIN S. SIMMONS  
5-1-19  
Professional Engineer  
State of Arizona

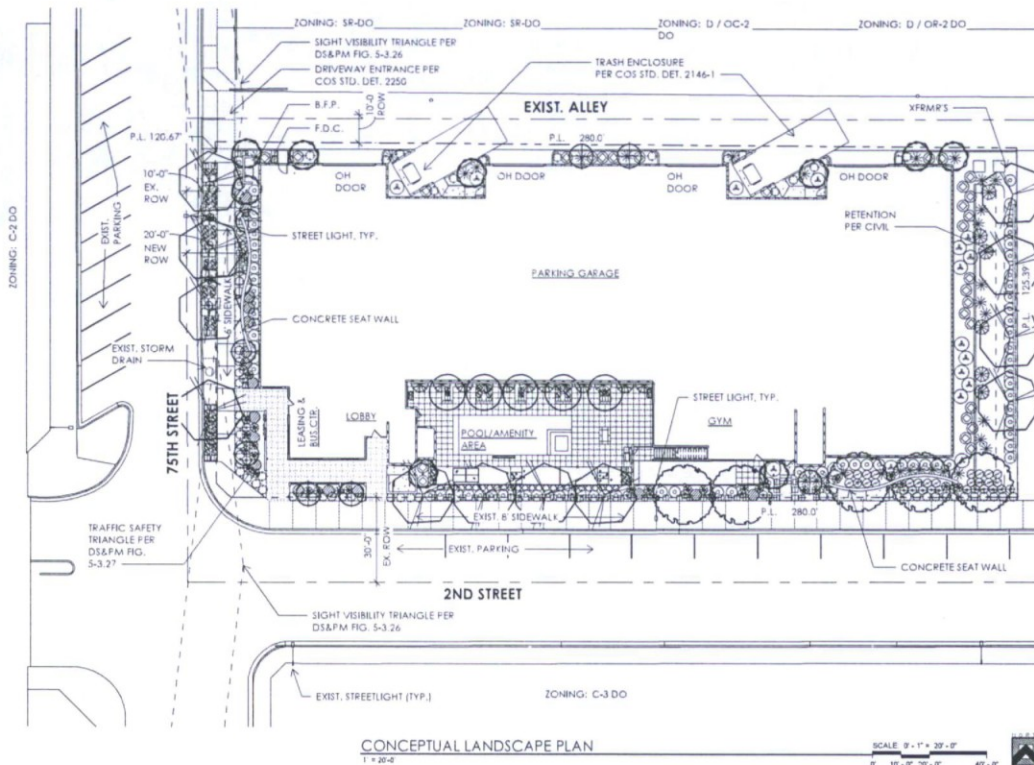
SHEET TITLE:  
Landscape Plan

SHEET NUMBER:  
L-1

ReZone2 - Design  
Review1

2-ZN-2019  
05/10/2019





### LANDSCAPE NOTES

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4. ALL PLANT MATERIALS SHALL BE FROM THE ARIZONA DEPARTMENT OF WATER RESOURCES' (ADWR) PHOENIX ACTIVE MANAGEMENT AREA PLANT LIST & IS EXEMPT FROM THE CITY OF SCOTTSDALE'S ENVIRONMENTALLY SENSITIVE LANDS ORDINANCE (ESLO) PLANT LIST.
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### PLANT LEGEND

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|----------------------------------|----------------------------|----------|----------|---------|------------|
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| MUHLENBERGIA x 'PINK             | PINK FLAMINGO MUHLY        |          | 5 Gal.   | 27      | 4'1 x 18'w |
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| <b>ACCENT</b>                    |                            |          |          |         |            |
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| <b>GROUND COVER</b>              |                            |          |          |         |            |
| PORTULACARIA AFRA                | ELEPHANT'S FOOD            |          | 3 Gal.   | 79      |            |
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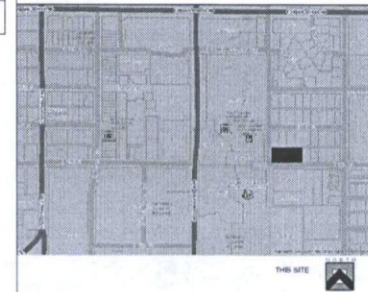
### GROUND PLANE TREATMENT

|   |                 |
|---|-----------------|
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| 3"-8" RIP RAP, 'MADISON GOLD'   | PER CIVIL PLANS |
| 2' AROUND ALL CATCH BASIN LOCATIONS (NATURAL PLACEMENT)                                 |                 |
| SYNTHETIC TURF - ACT GLOBAL 'NATURAL 48', INSTALL OVER 4" 1/4" MINUS DECOMPOSED GRANITE | +/- 775 S.F.    |

### LANDSCAPE CALCULATIONS

|                      |                |
|----------------------|----------------|
| LANDSCAPE OPEN SPACE | +/- 2,470 s.f. |
| PARKING LANDSCAPE    | NA             |
| FRONTAGE LANDSCAPE   | +/- 624 s.f.   |

### VICINITY MAP



K&I HOMES, LLC

6128 E ANDRAN SCHOOL RD  
SCOTTSDALE, AZ 85251  
PH: 602-508-2025



Clayton

IPTEXLstudios  
LANDSCAPE DESIGN TO A WHOLE NEW LEVEL

75 on 2nd  
7502 East 2nd Street  
Scottsdale, AZ

Revisions

# Description Date

OWNERSHIP OF DOCUMENTS

CONTRACTOR HAS NOT REVIEWED THIS DOCUMENT FOR THE PURPOSES OF THE PROJECT. THE CONTRACTOR'S REVIEW IS LIMITED TO THE TECHNICAL ASPECTS OF THE PROJECT. THE CONTRACTOR IS NOT RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED IN THIS DOCUMENT. THE CONTRACTOR IS NOT RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED IN THIS DOCUMENT.

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